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# ALED THOMAS PLANNING DESIGN

CAECETHIN, FFAIRFACH, LLANDEILO, CARMARTHENSHIRE. SA19 6PY.

TEL : 01558 823 995

[www.atpd.co.uk](http://www.atpd.co.uk)

[aled@atpd.co.uk](mailto:aled@atpd.co.uk)

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My Ref : Coomb Farm

DATE : 12/11/2012

Your Ref :

DYFED ARCHAEOLOGICAL TRUST LTD

The Shire Hall

8 Carmarthen Street

Llandeilo

Carmarthenshire

SA19 6AF

Dear Charles Hill

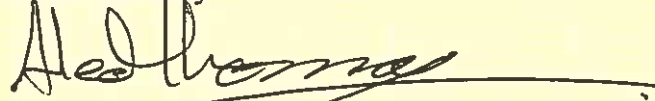
**RE : PROPOSED CONVERSION OF BARN INTO A HOLIDAY LET AT COOMB FARM, LLANGYNOG, CARMARTHEN, CARMARTHENSHIRE, SA33 5HP.**

Please find the following photographic record of the existing stone outbuilding.

The approved planning ref : W/26011.

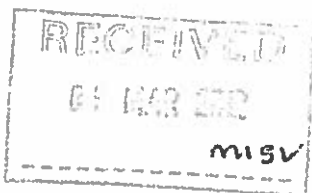
Should you require any further information regarding the above, please do not hesitate to contact me.

Yours sincerely



Aled Thomas B.Sc. (Hons)

[aled@atpd.co.uk](mailto:aled@atpd.co.uk)



ymddiriedolaeth archaeolegol

# DYFED

archaeological trust



Planning Dept  
Carmarthenshire County Council  
40 Spilman St  
Carmarthen  
SA31 1LQ  
FAQ: Jonathan Locke

Our ref: W/26010etc/CH  
Your ref: W/26010  
W/26011  
W/26012

9<sup>th</sup> March 2012

Dear Jonathan

**RE: Coomb Farm, Llangynog, Carmarthen at SN 33693 14220**  
**Application nos W/26010, W/26011, W/26012**

In our capacity as your archaeological advisors we have noted this application on the weekly planning list and checked its details against your planning portal. On behalf of your Authority I have also checked this application against the Regional Historic Environment Record, a database that currently holds over 50,000 core records of archaeological and historic significance. The portion of these records relating to Carmarthenshire has been adopted by resolution of your Authority for the purposes of the Town and Country Planning (General Permitted Development) Order 1995.

Our search has revealed that Coomb Farm has some antiquity being present on the first edition OS mapping and also on the 1840 Tithe Map.

Therefore we recommend that, should consent be given, a **photographic record** should be made of the buildings **prior** to any work commencing. This recommendation is based on the information provided and would most appropriately take the form of a condition attached to the application, ensuring that the necessary photography is undertaken. This is in line with Planning Policy Wales 2002 and Welsh Office Circular 61/96 'Planning and the Historic Environment: Historic Buildings and Conservation Areas'. We suggest that the following wording for a condition would be suitable:

**Development shall not begin until an appropriate photographic survey of the existing building(s) has been carried out in accordance with guidelines provided by the Local Planning Authority's archaeological advisors - The Dyfed Archaeological Trust-Heritage Management. The resulting photographs should be approved by the planning authority prior to the commencement of development and deposited with the regional Historic Environment Record, held and maintained by the Dyfed Archaeological Trust, the Shire Hall, Carmarthen Street, Llandeilo, Carmarthenshire, SA19 6AF, (Tel 01558-823121).**

Reason - To ensure that a record of the existing structure(s) is made and appropriately deposited prior to the commencement of development.

I trust that you find this recommendation acceptable, however if you wish to discuss this matter further please do not hesitate to contact us.

Yours sincerely

Charles Hill B.A; M.I.f.A  
Senior Planning Archaeologist  
Dyfed Archaeological Trust - Heritage Management  
[c.hill@dyfedarchaeology.org.uk](mailto:c.hill@dyfedarchaeology.org.uk)

PLANNING  
SERVICES

YMDDIRIEDOLAETH  
ARCHAEOLEGOL  
DYFED CYF

Neuadd y Sir  
8 Stryd Caerfyrdd  
Llandeilo  
Sir Gaerfyrddin  
SA19 6AF

01558 823121

E-bost  
[info@dyfedarchaeology.org.uk](mailto:info@dyfedarchaeology.org.uk)  
Gwefan  
[www.archaeologydyfed.org](http://www.archaeologydyfed.org)

Cwmni cyfyngedig (11989)

DYFED  
ARCHAEOLOGICAL TRUST

The Shire Hall  
8 Carmarthen Street  
Llandeilo  
Carmarthenshire  
SA19 6AF

01558 823121

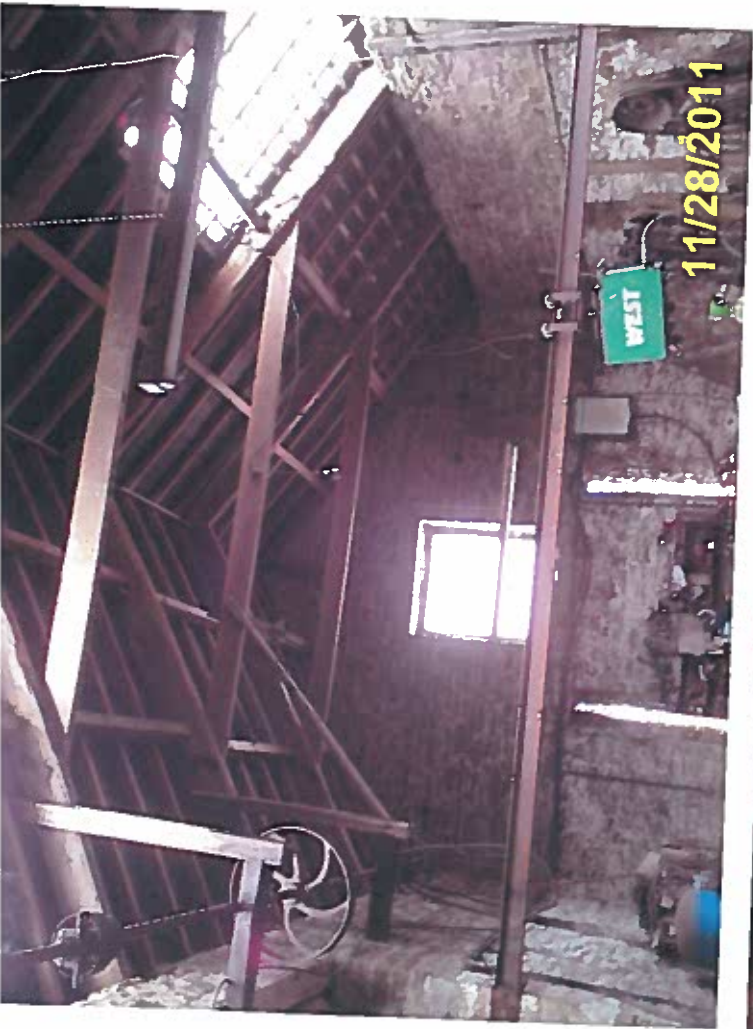
Email  
[info@dyfedarchaeology.org.uk](mailto:info@dyfedarchaeology.org.uk)  
Web  
[www.dyfedarchaeology.org.uk](http://www.dyfedarchaeology.org.uk)

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Cadeirydd Chairman  
C R Musson  
MBE B Arch FSA MIFA

Cyfarwyddwr Director  
K Musson B A AFTA







11/28/2011



11/28/2011



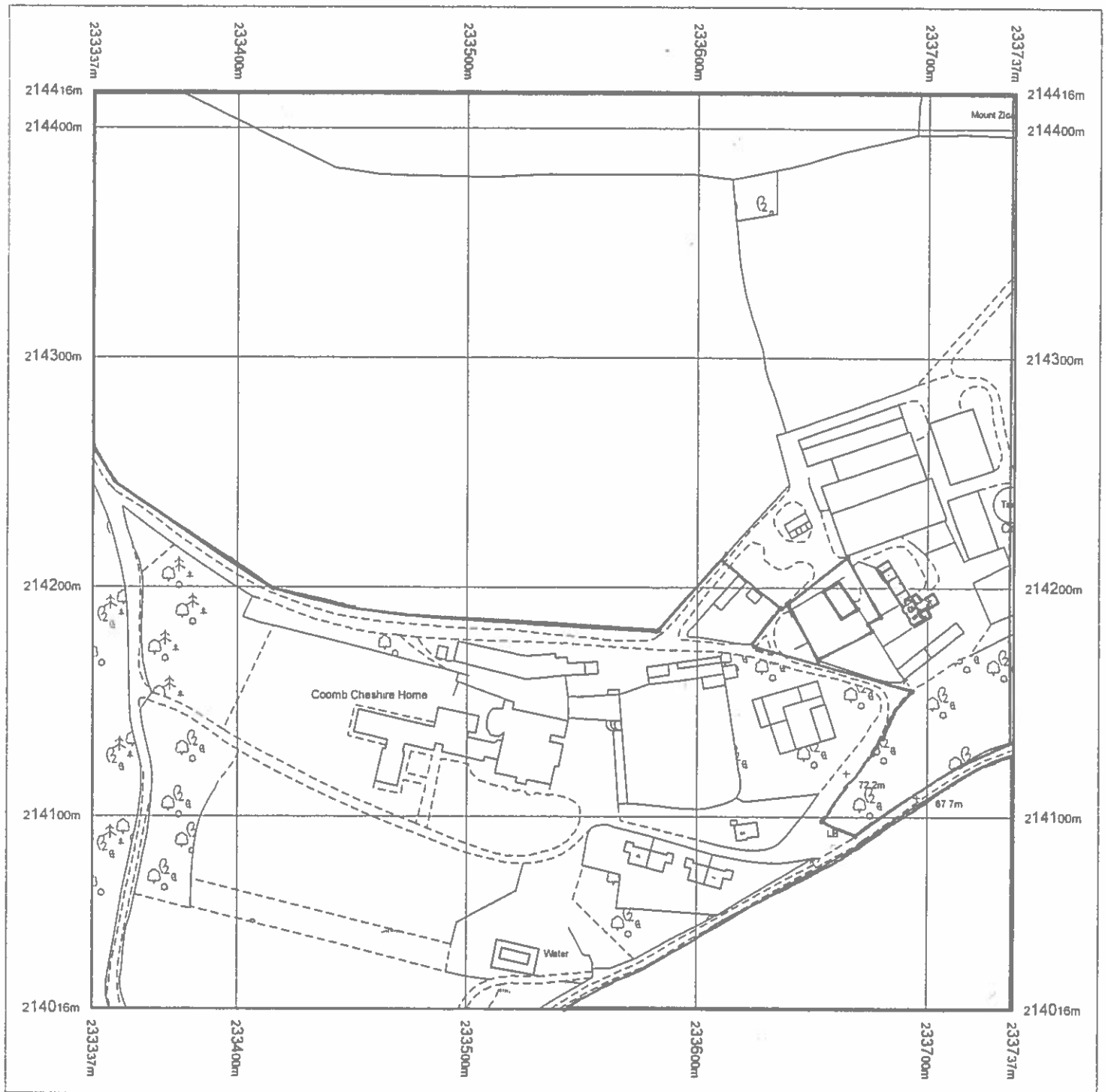
11/28/2011



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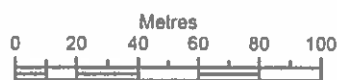
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Scale 1:2500

Supplied by: **Carmarthenshire C C**  
Serial number: 00173800  
Centre coordinates: 233537 214218

Further information can be found on the OS Sitemap Information leaflet or the Ordnance Survey web site:  
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**Mr S Davies**

Coomb Farm

Llangynog



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Further information can be found on the OS Sitemap Information leaflet or the Ordnance Survey web site:  
[www.ordnancesurvey.co.uk](http://www.ordnancesurvey.co.uk)

**Mr S Davies**

Coomb Farm

Llangynog



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# ALED THOMAS PLANNING DESIGN

CAECETHIN, FFAIRFACH, LLANDEILO, CARMARTHENSHIRE. SA19 6PY.

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---

My Ref : Coomb Farm

DATE : 16/11/2012

Your Ref :

DYFED ARCHAEOLOGICAL TRUST LTD

The Shire Hall

8 Carmarthen Street

Llandeilo

Carmarthenshire

SA19 6AF

Dear Charles Hill

**RE : PROPOSED RENOVATION OF FARM HOUSE AND CONVERSION OF  
ADJOINING BARN INTO ADDITIONAL LIVING AREA, AT COOMB  
FARM, LLANGYNOG, CARMARTHEN, CARMARTHENSHIRE, SA33 5HP.**

Please find the following photographic record of the existing stone outbuilding.

The approved planning ref : W/24855 & W/26010.

Should you require any further information regarding the above, please do not hesitate to contact me.

Yours sincerely



Aled Thomas B.Sc. (Hons)

[aled@atpd.co.uk](mailto:aled@atpd.co.uk)



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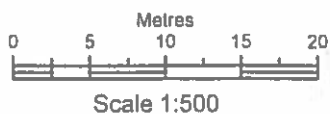
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Serial number: 00173800  
Centre coordinates: 233687.25 214209.5

Further information can be found on the OS Sitemap Information leaflet or the Ordnance Survey web site [www.ordnancesurvey.co.uk](http://www.ordnancesurvey.co.uk)

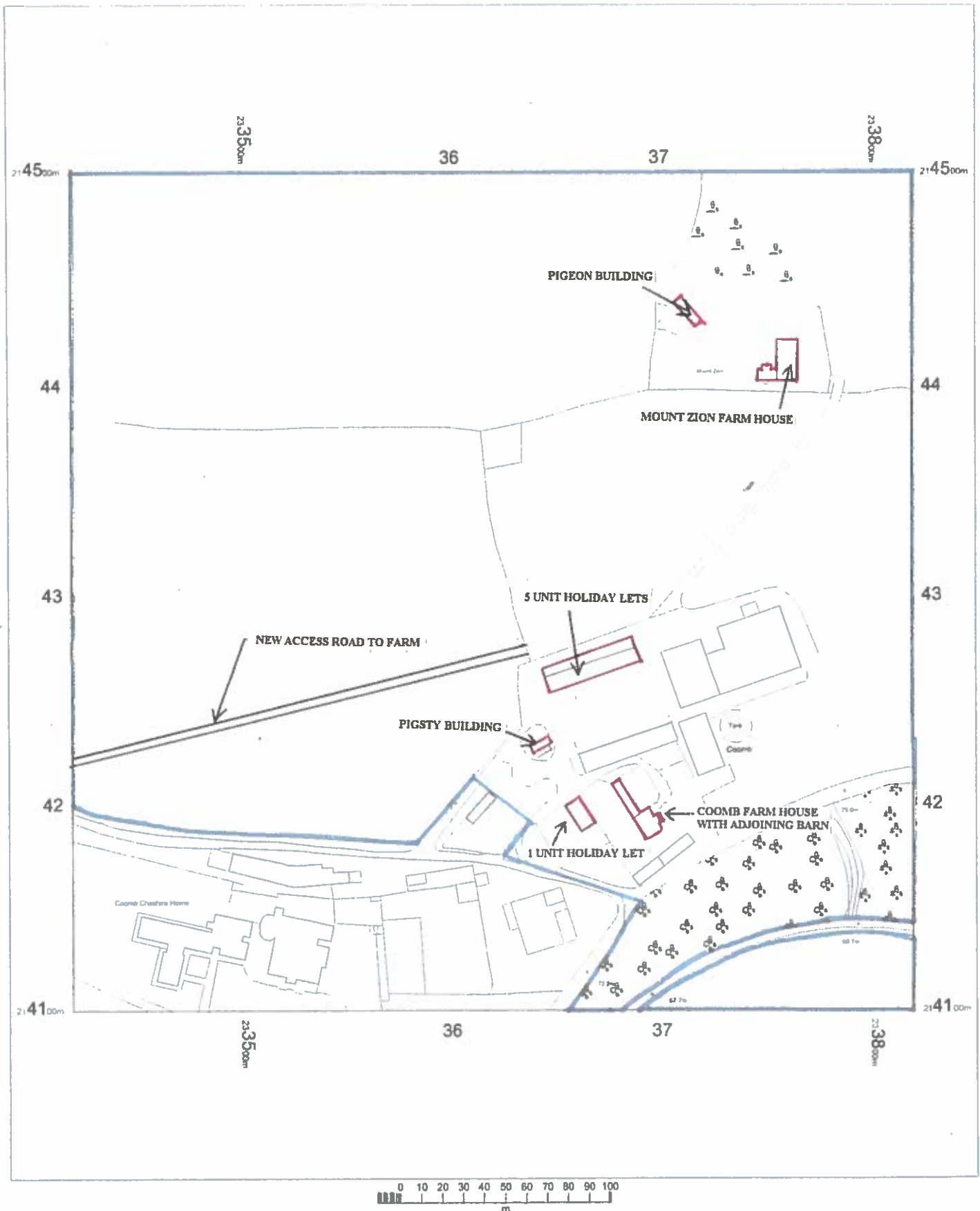
**Mr S Davies**

Coomb Farm

Llangynog



# Coomb Farm



Coomb Farm, Llangynog,  
Carmarthen, SA33 5HP

OS Mastermap  
15 November 2011, ID: BW1-00109047  
maps.blackwell.co.uk

1:2500 scale print at A4, Centre: 233620 E, 214301 N

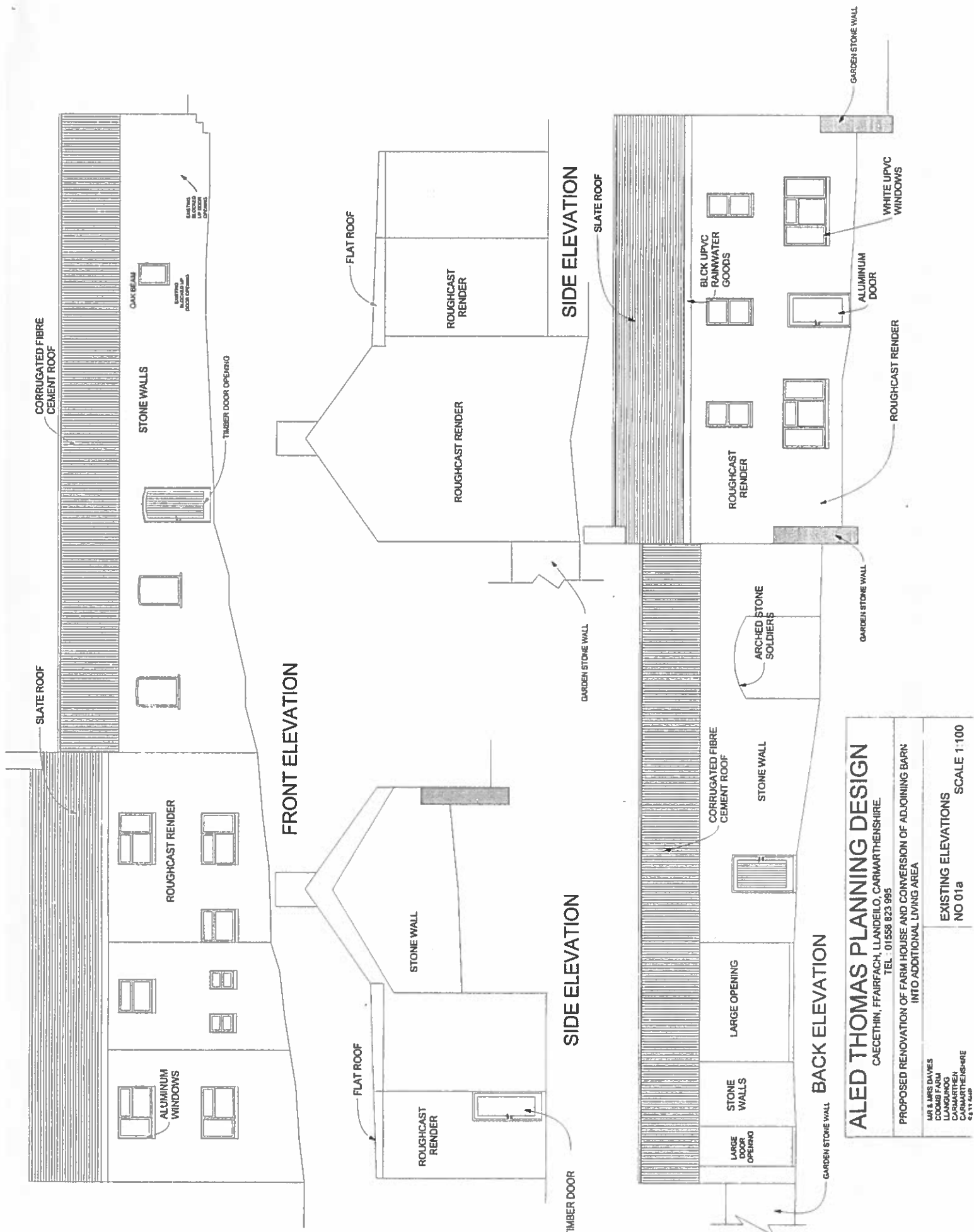
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Mapping  
sourced from

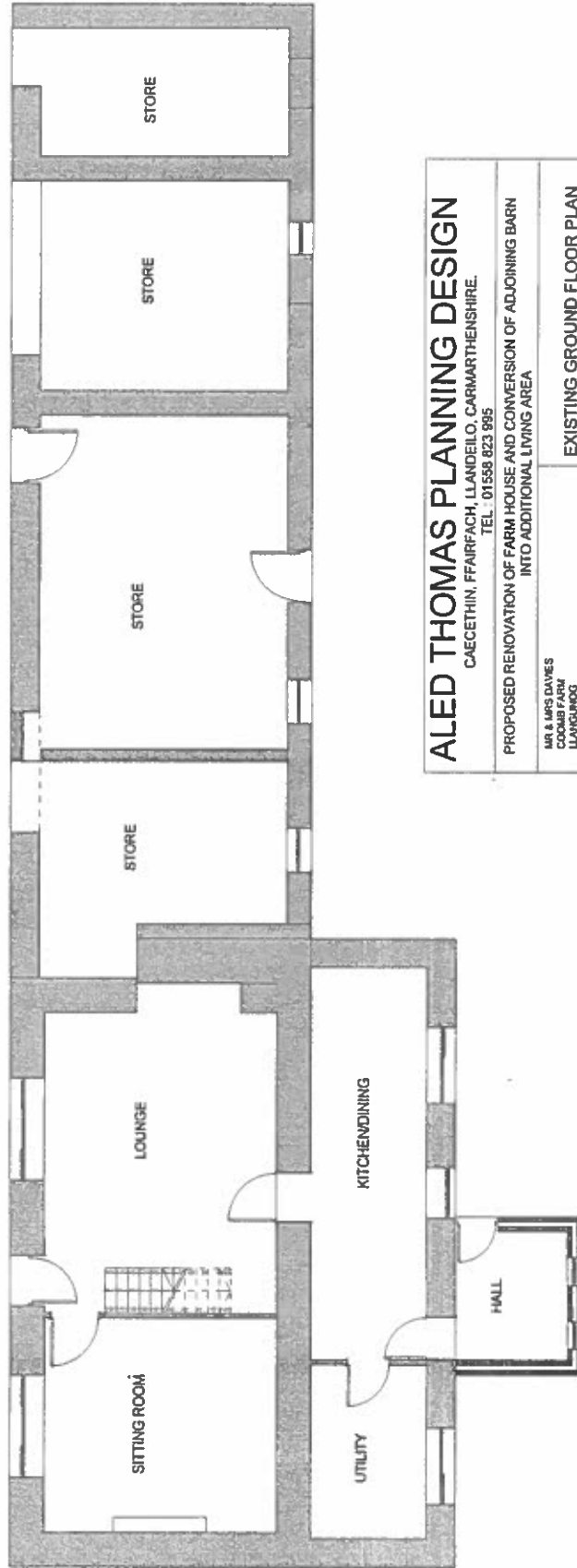
Ordnance  
Survey



Sir Gâr  
Carmarthenshire



<b>ALED THOMAS PLANNING DESIGN</b> CAECETHIN, FFARFACH, LLANDEILO, CARMARTHENSHIRE. TEL: 01558 823 895	
PROPOSED RENOVATION OF FARM HOUSE AND CONVERSION OF ADJOINING BARN INTO ADDITIONAL LIVING AREA	
MRS & MRS DAVIES COOMBS FARM LLANGUNHO CARMARTHEN CARMARTHENSHIRE SA11 2AP	EXISTING ELEVATIONS NO 01a SCALE 1:100



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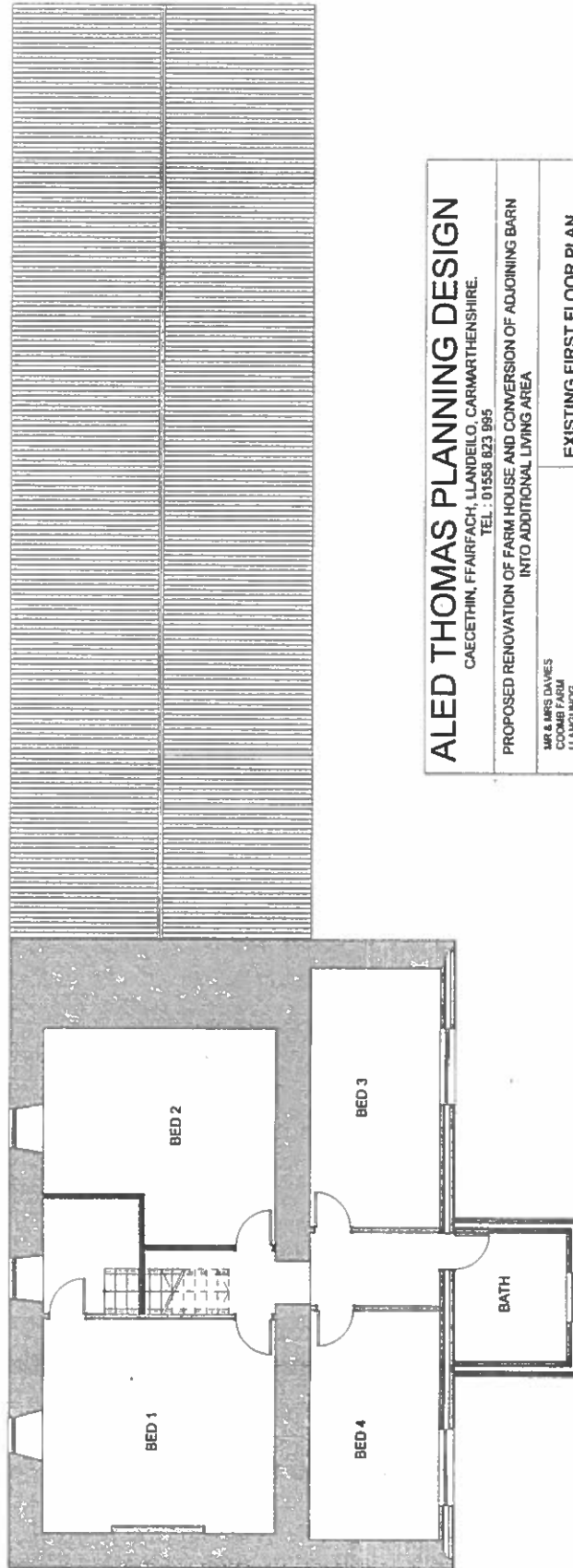
PROPOSED RENOVATION OF FARM HOUSE AND CONVERSION OF ADJOINING BARN  
INTO ADDITIONAL LIVING AREA

MR & MRS DAVIES  
COOMBS FARM  
LLANGLINDOG  
CARMARTHEN  
CARMARTHENSHIRE  
SA31 5AP

EXISTING GROUND FLOOR PLAN  
NO 02a

SCALE 1:100





# **ALED THOMAS PLANNING DESIGN**

CAECETHIN, FFAIRFACH, LLANDEILO, CARMARTHENSHIRE.

TEL : 01558 823 995

PROPOSED RENOVATION OF FARM HOUSE AND CONVERSION OF ADJOINING BARN  
INTO ADDITIONAL LIVING AREA

MAR & MRS DAVIES  
COOMBS FARM  
LLANOUNOG  
CARMARTHEN  
CARMARTHENSHIRE  
SA33 3NP

EXISTING FIRST FLOOR PLAN  
NO 03a

SCALE 1:100







**Farmhouse West elevation (Building 1)**

**Farmhouse East elevation**







**Farmhouse South elevation**

**Farmhouse West elevation showing adjacent barn (Buildings 1 & 2)**





**East elevation of adjacent barn (Building 2)**

**East elevation of workshop (building 3)**

