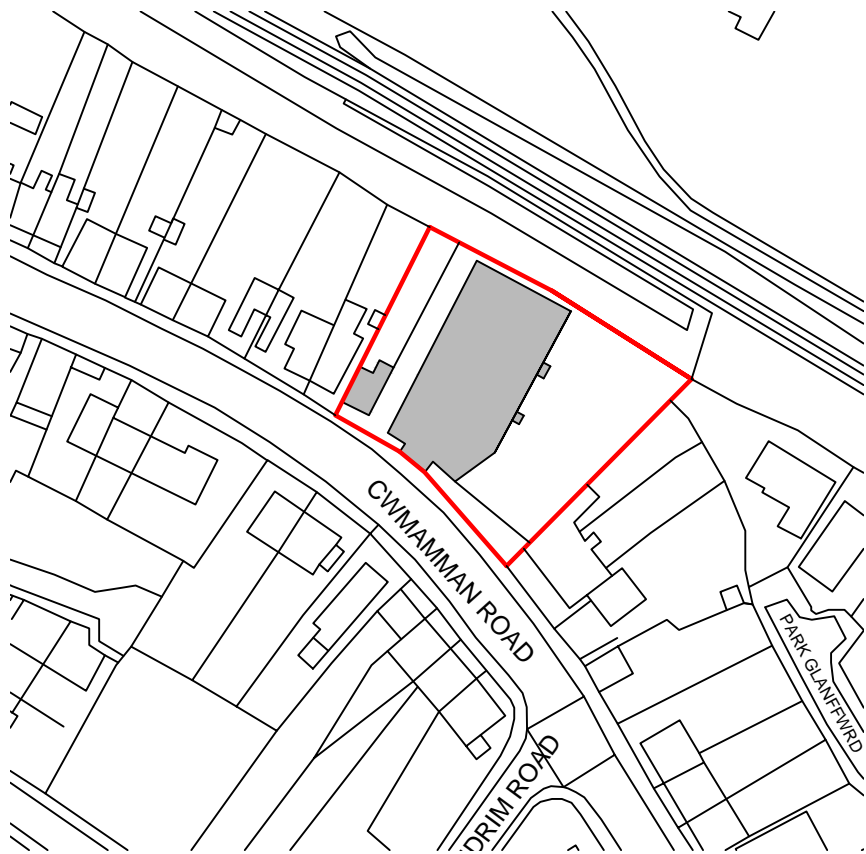




Existing Location Plan - 1:500



Proposed Location Plan - 1:500



Existing Location Plan - 1:1250



Proposed Location Plan - 1:1250



Prior building works must be instructed by the client.

It is essential that all client/builders notes are instructed by the client as per the Architects/ Engineers request.

Failure to complete these instructions could have a cost implication on the tender stage or even the feasibility to deliver the project as proposed.

It is solely the responsibility of the client to instruct these works so that the information is available prior to build.

Client and Builder Notes 1 (CBN1)

Internal/external wall has an abnormal reading due to fitted units and access. Dimension and wall construction to be checked by contractor prior to building works commencing and information to be relayed back to the Architect.

Client and Builder Notes 2 (CBN2)

Unable to ascertain the overall wall construction of the existing building. To be checked by contractor prior to building works commencing and information to be relayed back to the Architect.

Client and Builder Notes 3 (CBN3)

Trial pits to be carried out to expose all interface areas between the existing and new building. To be checked by contractor prior to building works commencing and information to be relayed back to the Architect.

Client and Builder Notes 4 (CBN4)

Unable to access the roof area to check the roof structure. To be checked by contractor prior to building works commencing and information to be relayed back to the Architect.

Client and Builder Notes 5 (CBN5)

Drainage search to be carried out. Client to instruct prior to formal planning submission. To be checked by contractor prior to building works commencing and information to be relayed back to the Architect.

Client and Builder Notes 6 (CBN6)

Client budget awaiting confirmation so that a cost plan can be commissioned.

04	PLANNING SUBMISSION - REVISE	20.04.16
03	PLANNING SUBMISSION	30.11.15
02	PRE PLANNING SUBMISSION	06.07.14
01	REVISED PRELIMINARY DRAWINGS	18.12.13

00	PRELIMINARY DRAWINGS	07.10.13
REV:	AMENDMENT:	DATE:
PRINT USE:		DATE:

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National Tel: 0845 260 55 54 Email: info@r+rarchitects.com Website: www.r+rarchitects.com



R+R ARCHITECTS
R+R Architects Ltd is a Limited Company in England and Wales. Company No: 9118078
Registered Office: 75 Springfield Road, Chesham, Essex CM8 4LR

PROJECT STAGE:
S3 - DEVELOPED DESIGN

PROJECT:
NEW BUILD CARE HOME

SITE ADDRESS:
**THE OLD WORKINGMENS HALL
222-224 CWMAMMAN ROAD
RHYDAMAN SA18 1LE**

CLIENT:
T.S PROPERTIES

DRAWING TITLE:
LOCATION PLANS

SCALE: 1:500 and 1:1250 on A1	DRAWING NO. 001	REV. 03	PACK. D
DRAWN BY: RB	CHECKED: RB	PROJECT NO. 470-13	

CONTRACT DRAWINGS SITE ISSUE EMPLOYER SIGNATURE:

CONTRACT DRAWINGS SITE ISSUE CONTRACTOR SIGNATURE:

STATUS: **AWAITING APPROVAL**

