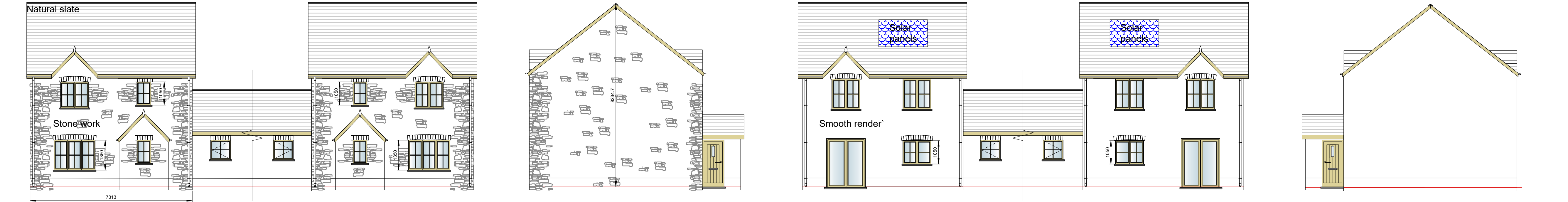
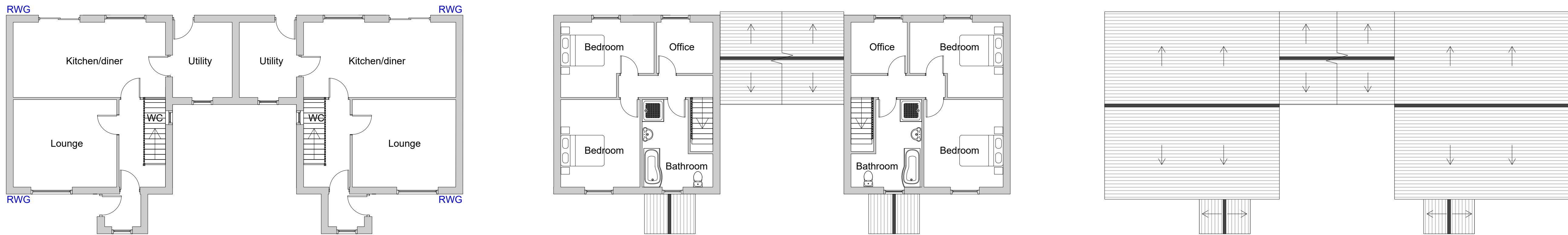


Proposed elevation plans  
Scale ~ 1:100

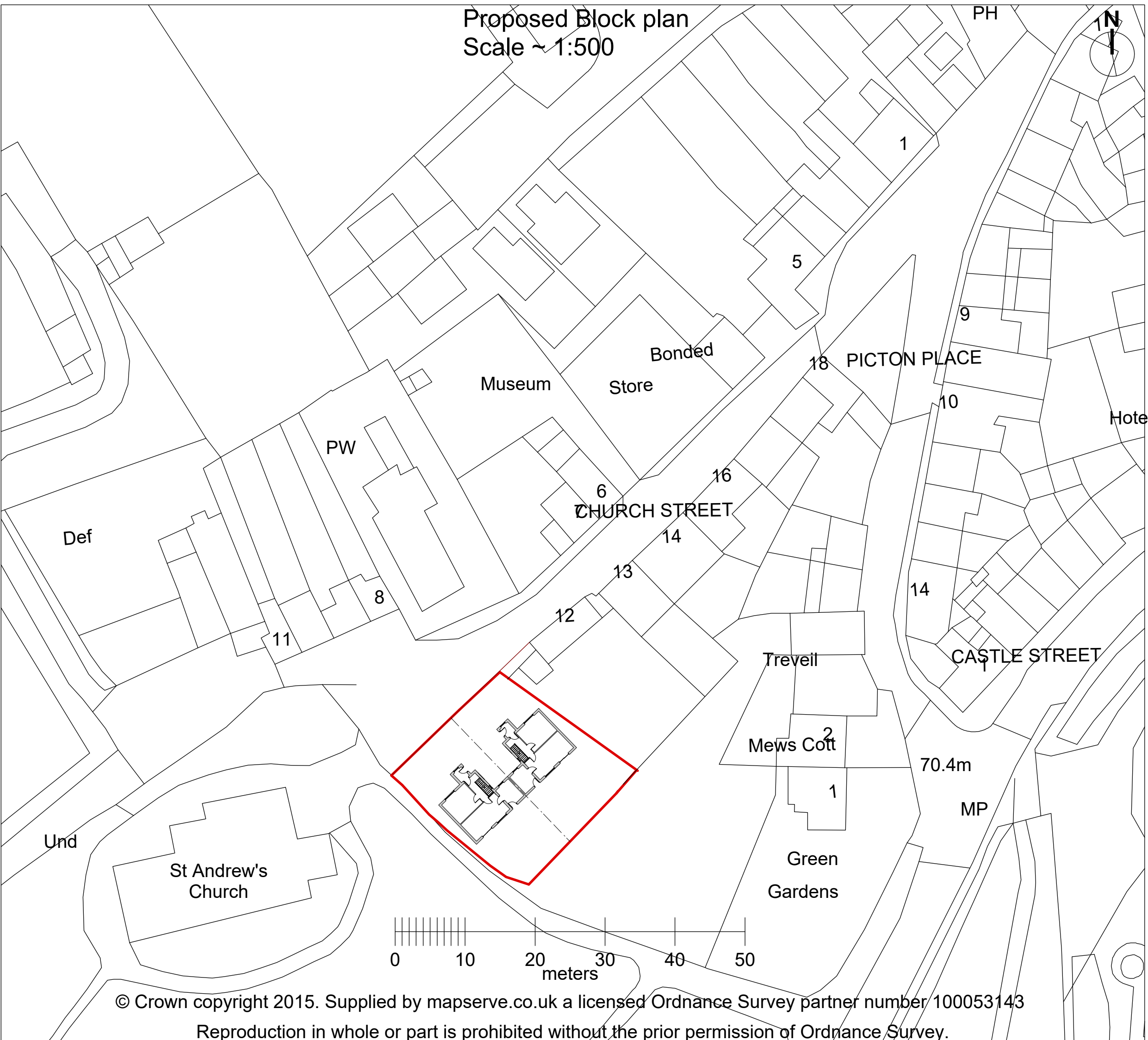


Proposed floor plans  
Scale ~ 1:100

RWG indicates rain water gully - to discharge into soak a way to rear garden.

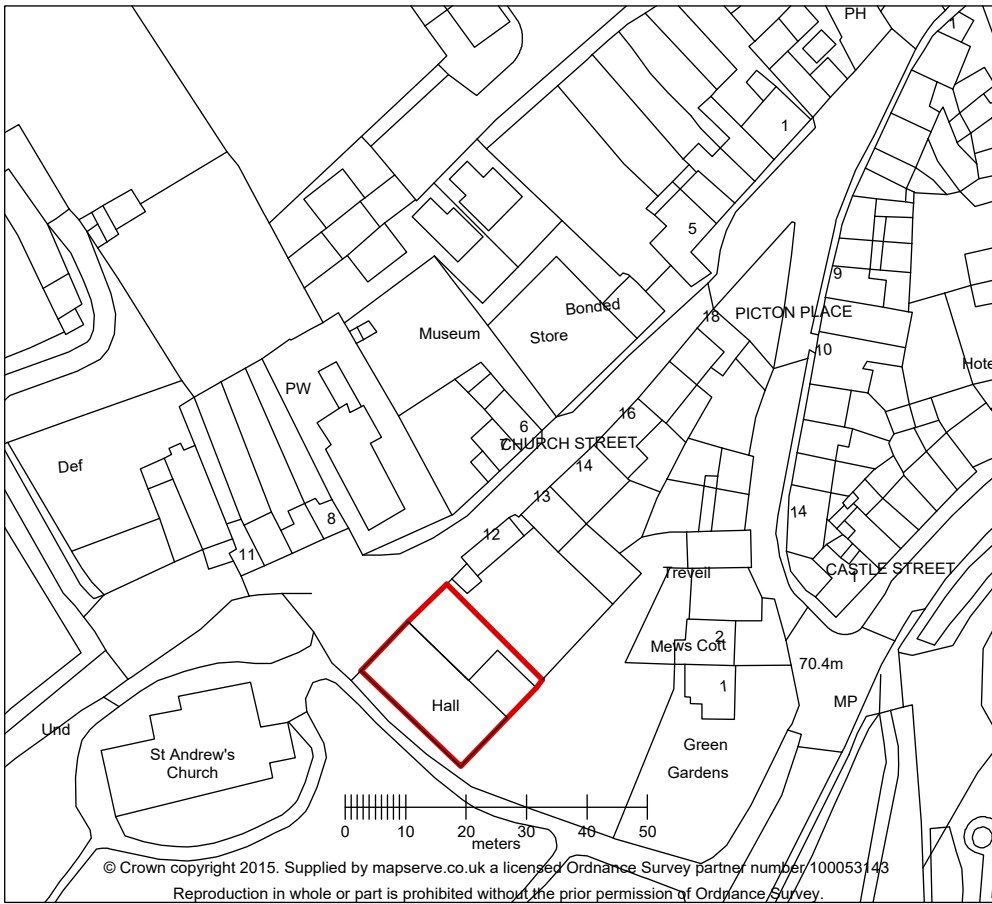


Proposed Block plan  
Scale ~ 1:500



- Material finishes ~
- Roof ~ thin profile blue/black slate;
  - Walls ~ Stone work where indicated with smooth render to remaining walls;
  - Windows and doors ~ Brown UpVC;
  - Facia and soffits ~ Brown UpVC;
  - Guttering ~ OG continuos aluminium

Existing location plan  
Scale ~ 1:1250



General ~

The contractor is to ensure that proposed Works will be executed in accordance with any relevant. Conditions appended to the Local Planning Authority's Decision Notice; the current Building Regulations and N.H.B.C. Standards; the requirements of the Fire Officer; the Institute of Electrical Engineers handbook (current edition); the requirements of the local Water Authority. Materials and workmanship should, where applicable, comply with the current British Standards Institute specifications and Codes of Practice. Where such guidance does not exist, materials and workmanship should conform to established good practice and Regulation 7 of Building Regulations.

All Materials and components must be suitable for their intended purpose and location and must be manufactured and installed in accordance with all Relevant, Current British Standards and codes of practice, Building Control requirement and manufacturer's specification.

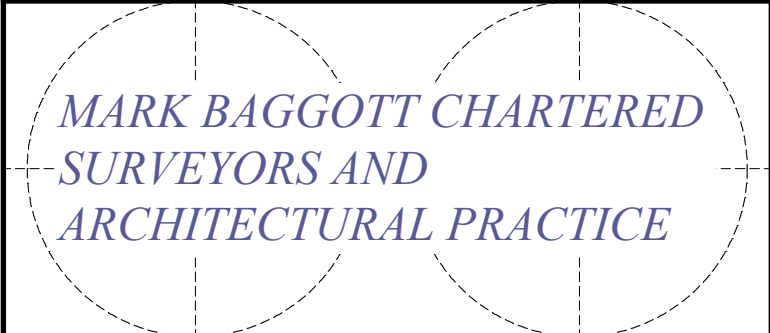
The location of existing services should be established prior to the commencement of any works - if discovered to be at variance with that shown on the Engineering drawings, the Architect and Engineer must be notified immediately.

The contractor is to check all dimensions, both internal and external, prior to the commencement of any works and the ordering of materials - any errors must be reported to the design team. Where proprietary materials, fixtures or fittings are used, they must be placed / fitted strictly in accordance with the manufacturers written instructions and published details pertaining to circumstance in which they are to be used.

This specification is to be read in conjunction with all other drawings, clients standard specification, Structural Engineers and Mechanical & Electrical Engineers design. Any reference to an Approved Document in this Specification relates to the relevant Approved Document of the Building Regulations.

PL VER 1	08/07/16	All measurements must be checked on site. If there are any deviations the designer should be notified and written confirmation sought.  The plans are the property of M. Baggott Chartered Surveyors and Architectural Service and written permission must be sought before passing any plans onto third parties.  Party Wall agreements should be put in place before any works commence on site.
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No.	Date	Issue Notes
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Design Firm	Mark Baggott Chartered Surveyors & Architectural Practice p. 01559371550 m. 07717292879 e. mark@baggottmark.co.uk
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Consultant	Mark Baggott
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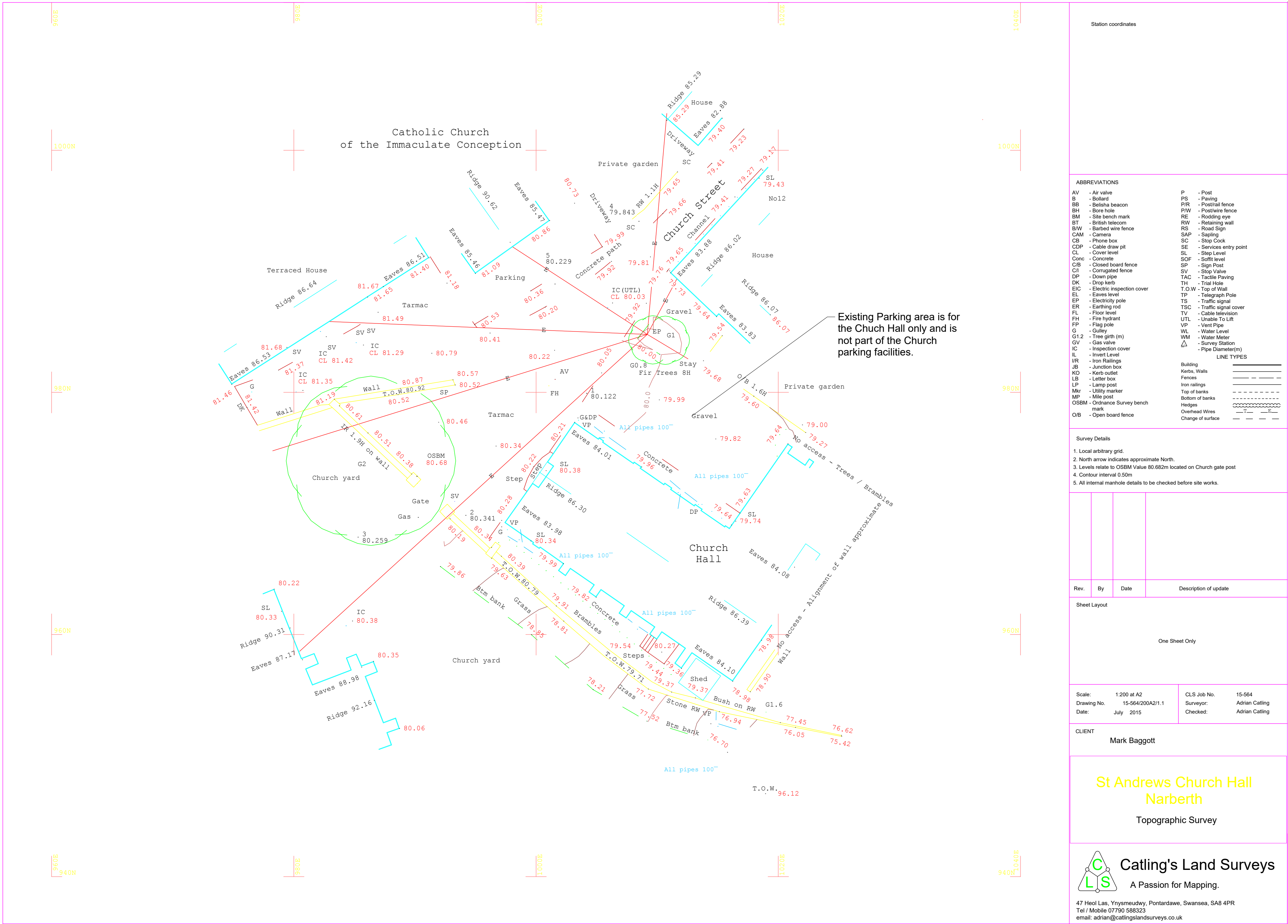
Project Title	Proposed development of 2No dwellings at St Andrews Hall, Church Street, Narberth, Pembroekshire. SA67 7BH.
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Sheet Title	Proposed floor plans
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Project Manager	N/A	Project ID	ST ANDREWS NARBERTH
Drawn By	MB	Scale	1:100; 1:50;
Reviewed By		Sheet No.	
Date	08/07/2016		
CAD File Name	CHURCH OF WALES		



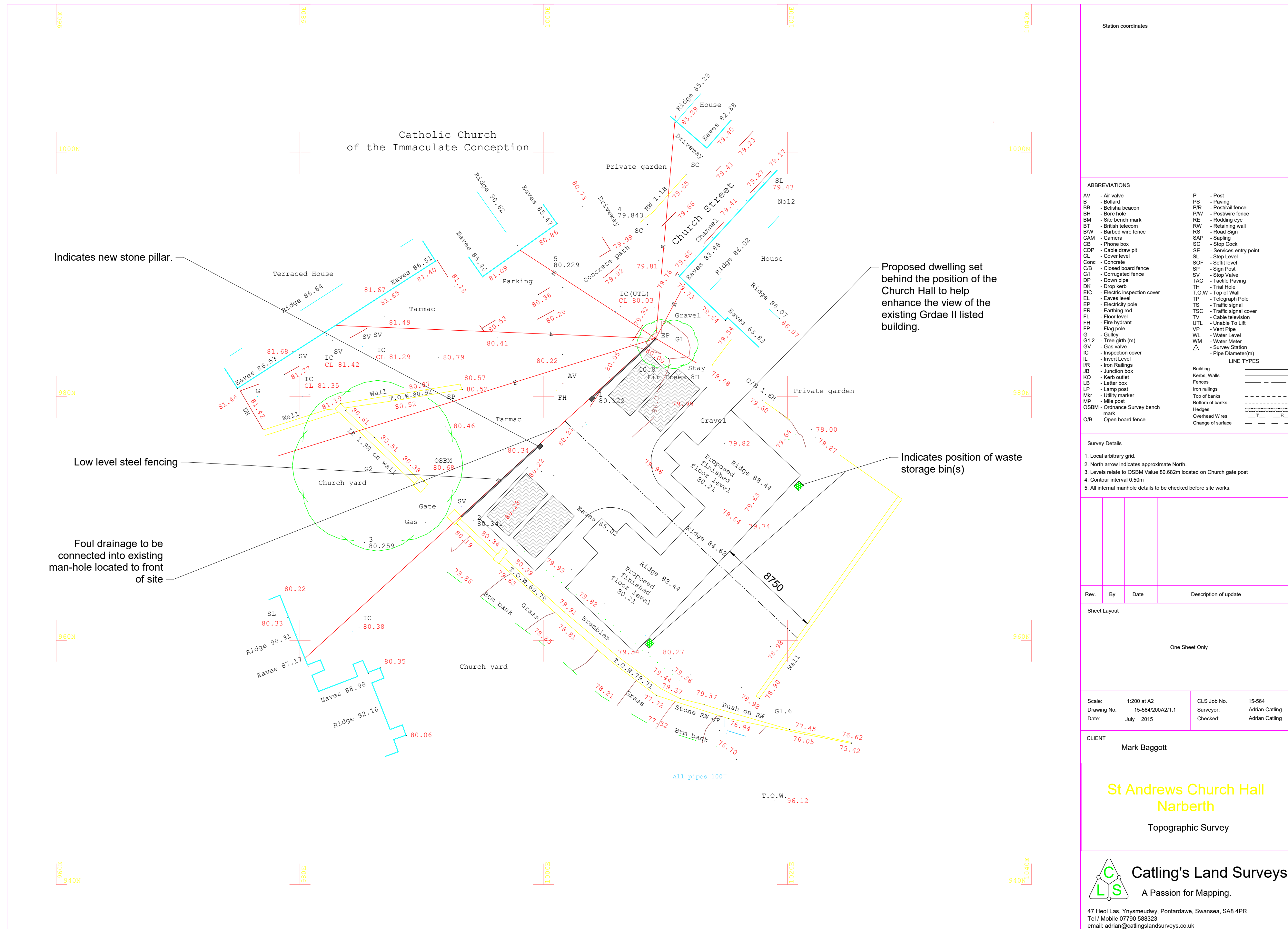
Existing topographical plan  
Scale ~ 1: 200



PL VER 1	08/07/16	All measurements must be checked on site. If there are any deviations the designer should be notified and written confirmation sought.
		The plans are the property of M. Baggott Chartered Surveyors and Architectural Service and written permission must be sought before passing any plans onto third parties.
		Party Wall agreements should be put in place before any works commence on site.

No.	Date	Issue Notes
<b>MARK BAGGOTT CHARTERED SURVEYORS AND ARCHITECTURAL PRACTICE</b>		
Design Firm	Mark Baggott Chartered Surveyors & Architectural Practice p. 01559371550 m. 07717292879 e. mark@baggottmark.co.uk	
Consultant	Mark Baggott	
Project Title	Proposed development of 2No dwellings at St Andrews Hall, Church Street, Narberth, Pembrokeshire. SA67 7BH.	
Sheet Title	Proposed floor plans	
Project Manager	N/A	Project ID ST ANDREWS NARBERTH
Drawn By	MB	Scale 1:100; 1:50;
Reviewed By		Sheet No.
Date	08/07/2016	2 of 3 PAPER A1
CAD File Name	CHURCH OF WALES	

Proposed topographical plan  
Scale ~ 1: 200



PL VER 1	08/07/16	All measurements must be checked on site. If there are any deviations the designer should be notified and written confirmation sought.	
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No.	Date	Issue Notes	
<div>MARK BAGGOTT CHARTERED SURVEYORS AND ARCHITECTURAL PRACTICE</div>			
Design Firm		Mark Baggott Chartered Surveyors & Architectural Practice p. 01559371550 m. 07717292879 e. mark@baggottmark.co.uk	
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Project Title		Proposed development of 2No dwellings at St Andrews Hall, Church Street, Narberth, Pembroekshire. SA67 7BH.	
Sheet Title		Proposed floor plans	
Project Manager		Project ID	
N/A		ST ANDREWS NARBERTH	
Drawn By		Scale	
MB		1:100; 1:50;	
Reviewed By		Sheet No.	
Date			
08/07/2016			
CAD File Name			
CHURCH OF WALES			
		3 of 3	
		PAPER A1	