

Green Grove Jameston, Pembrokeshire Watching Brief & Evaluation



Report by: Trysor

For: Mr Hughes

May 2018



Green Grove Jameston, Pembrokeshire Watching Brief & Evaluation

By

Jenny Hall, MCIfA & Paul Sambrook, MCIfA
Trysor

Trysor Project No. 2017/536

For: Mr Hughes

May 2018

38, New Road
Gwaun-cae-Gurwen
Ammanford
Carmarthenshire
SA18 1UN
www.trysor.net
enquiries@trysor.net



Cover photograph: Beginning stripping part of the area of the new roadway, looking north.

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Paratowyd yr adroddiad hwn gan bartneriad Trysor. Mae wedi ei gael yn gywir ac yn derbyn ein sêl bendith.

This report was prepared by the Trysor partners. It has been checked and received our approval.

JENNY HALL MCIFA

Jenny Hall

PAUL SAMBROOK MCIFA

Paul Sambrook

Croesawn unrhyw sylwadau ar gynnwys neu strwythur yr adroddiad hwn.

We welcome any comments on the content or structure of this report.

38, New Road,
Gwaun-cae-Gurwen
Ammanford
Carmarthenshire
SA18 1UN
01269 826397

82, Henfaes Road
Tonna
Neath
SA11 3EX
01639 412708

www.trysor.net

enquiries@trysor.net

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Jenny Hall (BSc Joint Hons., Geology and Archaeology, MCIfA) had 12 years excavation experience, which included undertaking watching briefs prior to becoming the Sites and Monuments Record Manager for a Welsh Archaeological Trust for 10 years. She has been an independent archaeologist since 2004 undertaking a variety of work that includes upland survey, desk-based appraisals and assessments, and watching briefs.

Paul Sambrook (BA Joint Hons., Archaeology and Welsh, MCIfA, PGCE) has extensive experience as a fieldworker in Wales. He was involved with Cadw's pan-Wales Deserted Rural Settlements Project for 7 years. He also undertook Tir Gofal field survey work and watching briefs. He has been an independent archaeologist since 2004 undertaking a variety of work including upland survey, desk-based appraisals/assessments, and watching briefs.

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1. Summary

1.1 In April 2017, Trysor undertook a watching brief on groundworks for a new roadway, part of planning application NP/16/0319/RES (Pembrokeshire Coast National Park). At the same time they excavated three evaluation trenches in an area for which outline planning had been approved: NP/15/0287/OUT (Pembrokeshire Coast National Park).

1.2 No archaeologically significant contexts predating the 19th century were recorded.

2. Copyright

2.1 Trysor hold the copyright of this report and of the paper and digital archive. Further paper copies may be made of this report without gaining permission to reproduce but it must be noted that Figures 6, 7 and 8 include other copyright material and should not be copied.

3. Introduction

3.1 Mr Hughes of Green Grove, Jameston, Tenby, Pembrokeshire, SA70 8QJ commissioned Trysor heritage consultants to write a Written Scheme of Investigation for Green Grove, Jameston, Tenby, Pembrokeshire, SA70 8QJ, relating to planning application numbers: NP/15/0287/OUT (Pembrokeshire Coast National Park) and NP/16/0319/RES 1.

3.2 Trysor prepared a Written Scheme of see Appendix 2, which was approved by the local authority.

4. The development

4.1 The development is on land behind (south), and to the west of, Green Grove house in Jameston, Pembrokeshire at SS0544598905.

4.2 The planning application is for outline planning permission for six detached dwelling plots & a site for affordable housing, NP/15/0287/OUT (Pembrokeshire Coast National Park).

4.3 The site for affordable housing lay to the west of the current house on a currently grassed area and not covered by this WSI.

4.4 A new access road was created running approximately south from the A4139 between the current house and the affordable housing site.

4.5 The site for the housing development for which outline planning permission has been granted is to the south of the current house and east of the new road.

5. Conditions on the consent

5.1 In granting approval for the outline application, NP/15/0287/OUT (Pembrokeshire Coast National Park), the Local Planning Authority imposed a condition on the consent; the condition specifies the actions necessary to mitigate the impact of the development on the archaeological resource.

No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved in writing by the local planning authority

Reason

To assess the archaeological value of the site. Policy – Local Development Plan Policy 8 (Special Qualities) and Planning Policy Wales Edition 7 – Chapter 6 (Conserving the Historic Environment).

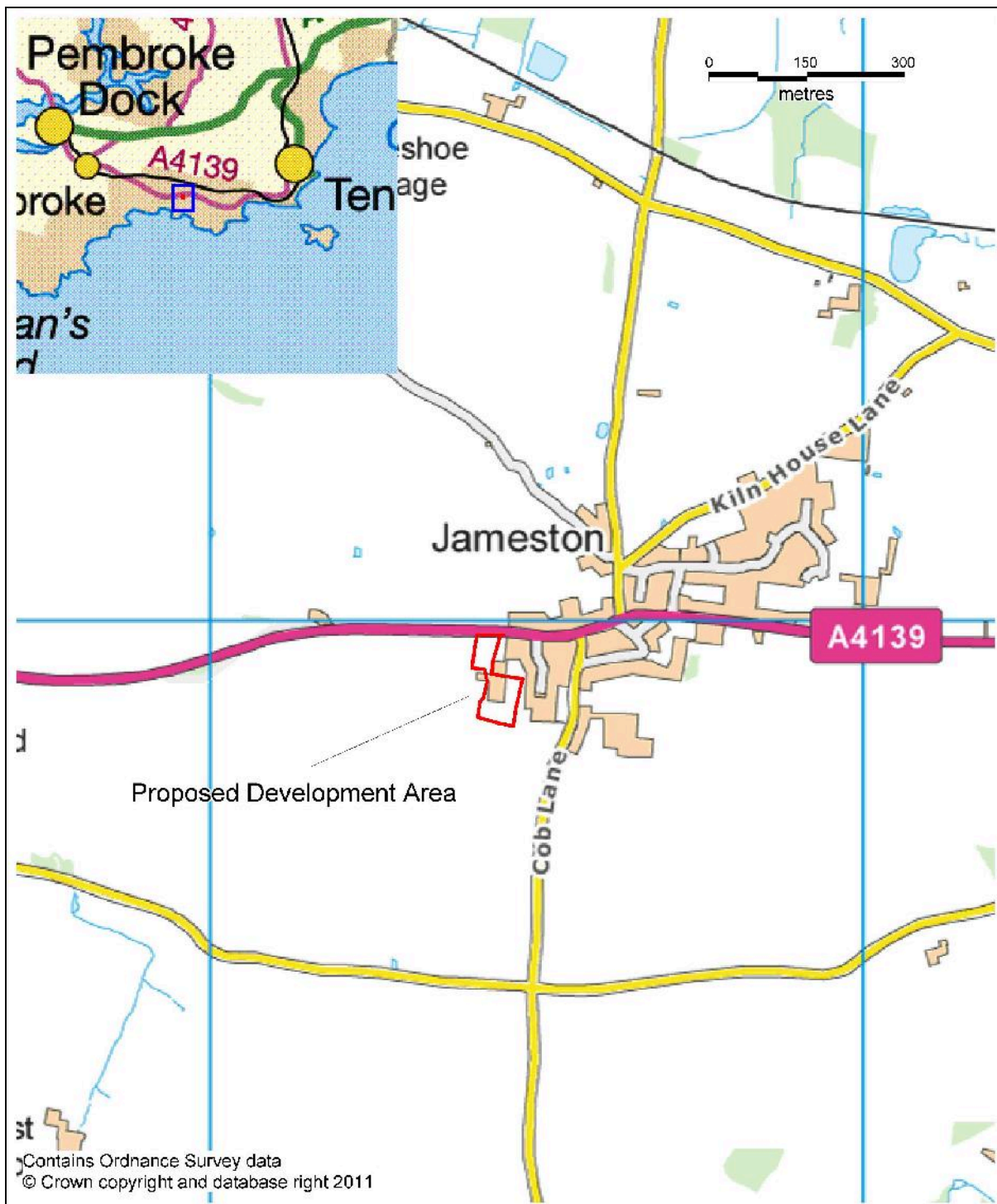


Figure 1: Location of the area included in outline application
NP/15/0287/OUT (Pembrokeshire Coast National Park)

6. Historical and Archaeological Overview

6.1 The origins the medieval settlement at Jameston has been discussed by several authors in the past. To the north and east of the modern village the existing field system is thought by some to be the remains of a co-axial field system. It is believed that this co-axial field system developed at right angles to the Ridgeway to the north. Later the field system appears to have been adapted to be used as strip fields. Strip fields were farmed in common by the inhabitants of medieval and early post-medieval villages and the existence of the field system is an indication that there was indeed a settlement here in medieval times. Prof. David Austin (1988) has argued that the co-axial field system is of Bronze Age date and the village was a Norman plantation onto the earlier landscape. Roberts (1987) argued that the settlement was of pre-Norman origin, surrounded by a later, Anglo-Norman, field system. Kissock (1997) concluded that the origins of the village of Jameston are later than the co-axial field system, but that the village itself was not necessarily of Norman foundation. Kissock does not state whether he thought the village was pre-Norman or post-Norman however. This divergence of opinion, and the lack of any archaeological or documentary evidence, means that there is therefore still no clear understanding of the origins of the village.

6.2 Documentary sources relating to medieval Jameston are limited. An early reference to Jameston is found in an inventory of lands held by the Bishop of St. David's in 1293. This lists a grange at "Apud Sanctu Jacobu" (near St. James' place) where the Bishop held a grange. Wheat, barley, oats, beans and peas were produced on this grange. Court records of 1331 refer to Jameston as a township.

6.3 There is no documentary record of a medieval chapel-of-ease at Jameston during the medieval period (the township was in the parish of Manorbier by late medieval times). It is possible that a grange chapel was located here when the Bishop of St. David's held land in the area, but the first evidence that there was a chapel-of-ease to Manorbier is provided by Christopher Saxton's Map of Pembrokeshire, published in 1578. This map marks Jameston with a small chapel, indicating that there is likely to have been such a building in the village by that time. Within a few decades, the Elizabethan antiquarian George Owen of Henllys, recorded that an small fair dedicated to St. James was held annually at Jameston (Pritchard, 1906, folio 75).

6.4 This scant evidence means that the form and extent of the early settlement at Jameston have never been proven. The most enduring medieval elements in the local landscape are the remains of the co-axial field system, if it is indeed accepted that they are of medieval date.

6.5 There is little known about the origins of the house at Green Grove (GGJ2016_001 – see Appendix 2). It has been described as being of 17th century origin by the Royal Commission on the Ancient and Historic Monuments of Wales, but Cadw's Listed Building description suggests that it is an 18th century house, possibly incorporating earlier elements, which had been altered during the late 19th and early 20th centuries. The earliest feature is thought to be the large, off-centre fireplace in the reception room in the northeastern corner of the building. Features such as the stucco panelling and porch on the front elevation are likely to date to the early years of the 20th century. The cast-iron pillars supporting the porch roof and the fine cast-iron railings may reflect the fact that the owner of the property in the early 20th century was Owen Thomas Jenkins, who was an industrialist with an association with the Dowlais Ironworks, Merthyr Tydfil.

6.6 Green Grove is mentioned in Land Tax returns of the 1790s and was the property of a wealthy inhabitant of Tenby, William Hamilton. Of Scottish birth, he was a high-ranking official in the Civil Service of the Honourable East India Company. It is not clear when he purchased Green Grove, or from whom. His death, aged 77, was reported in the Gentleman's Magazine & Historical Chronicle of December, 1819. His tomb is found in the church of St. Mary the Virgin, Tenby and bears the inscription;

In memory of William Hamilton, Esquire, eldest son of the late Dr. Robert Hamilton, Doctor of Divinity in the University of Edinburgh. He passed the active period of life on the coast of Coromandel, in the Civil Service of the Honourable the East India Company, to the great satisfaction and with the approbation of his conscience. On his return to Britain he resided some years at Hastings, Sussex, and retired finally to Tenby, South Wales, where he lived and here he died on the third of December, 1819, in the seventy-third year of his age, regretted by all who knew him. This memorial erected by his remaining brother, James Hamilton, Physician, Edinburgh.

A nearby tomb commemorates his son Robert Hamilton and his wife Anne;

Sacred to the beloved memory of Captain Robert Hamilton, R.N., 1 eldest son of William Hamilton, Esqr. He departed this life July 6th, 1837. He truly was the best of men. A good Christian, a most affectionate husband, a brave officer, a kind landlord, and was proverbially just in all his actions. He is gone to reap the reward of his well spent life after a severe and painful illness of more than five months, during which time his only thought was of mercy and pardon from his Redeemer. Sacred also to the memory of Anne Eliza, widow of

the above Captain Robert Hamilton. She died very suddenly July 24th, 1848. Beloved and respected whilst alive, her loss will be universally felt and deplored by everyone who knew her. She was a kind friend to the poor and all whose necessities were made known to her. Those who had the privilege of her more intimate friendship have every reason deeply to mourn their sudden and melancholy bereavement. May her soul rest in peace.

6.7 Anne Hamilton is recorded as the owner of Green Grove on the 1842 Manorbier Parish tithe map. Unfortunately, this map does not provide a detailed plan of the house and outbuildings at Green Grove, but it does show that the house and gardens (marked as parcel 525) occupied the same area as the present house and outbuildings. It appears likely that the main historic buildings and the walled garden which characterised Green Grove were already in place by the 1840s. It seems likely that it was the Hamilton family, either in the time of William Hamilton or his son and daughter-in-law, had invested in the property, modernised the house and expanded the outbuilding range, including the addition of the large walled garden.

6.8 The Hamiltons do not appear to have resided at Green Grove. A deed held in the National Archives, dating to 1809, records that William Hamilton leased Green Grove to one Thomas Stephens for a period of "three lives" (National Library of Wales, Williams & Williams, Solicitors, File 7685). Census returns of the period 1841 to 1871 show that the holding was being leased to the Skyrme family. John Skyrme, aged 64, was Anne Hamilton's tenant in at the time of the 1840 parish tithe survey. In 1851, Skyrme was recorded in the census return as farming 87 acres at Green Grove. He was followed by his son Joseph Skyrme, who was farming 97 acres here in 1871.

6.9 In 1871, Green Grove was put up for sale following the death of Miss Wilhelmina Hamilton, the daughter of Robert and Anne Hamilton, who had inherited the property upon the death of her mother in 1848. The sale advertisement in the Western Mail of August 11th, 1871 notes that Joseph Skyrme was a yearly tenant at that time. The advert describes the property as including "a farmhouse and agricultural buildings, large orchard and garden, three cottages and gardens and about 64a. 1r. 34p. of productive arable, meadow and pasture land...". This description matches the layout of the farmstead as shown on the First Edition of the 1:2500 scale Ordnance Survey map of 1865. Most of the historic farm buildings still standing at Green Grove are identifiable on this map, suggesting that the holding was indeed well-developed by the mid-1800s.

6.10 By 1881 Green Grove had been purchased by Owen Thomas Jenkins. He had been born in 1841, the son of Rees Jenkins, farmer, of Blaencorrgwg, Glyncorrgwg in the Afan Valley, Glamorganshire. Blaencorrgwg sat on top of profitable coal veins, which made Rees Jenkins a wealthy man. He had industrial interests by the 1850s and was a Director of the South Wales Mineral Railway. His son Owen followed his father's industrial and agricultural interests and was described as a "Gentlemen Farmer" in the 1881 Manorbier parish census. He apparently had interests in the iron industry as well as in railways. Owen Jenkins served as a JP in Jameston. He married his wife Gwenllian in Glyncorrgwg in 1893, when he was 53. They had an adopted daughter, Martha, who was born at Narberth in 1896. She is recorded by the 1891 census as a 5 year old "Visitor" at Green Grove, named as Martha J. Smith. Owen Jenkins died in 1928 at Glyncorrgwg. The heraldic shield, which is still to be seen on the water tank (GGJ2016_002) in the front garden of Green Grove, bears his intertwined initials OTJ. This water tank, along with the fine stuccoed front elevation of the house, its iron railings and porch, supported by cast-iron posts, all date to the period when Owen Jenkins resided here.

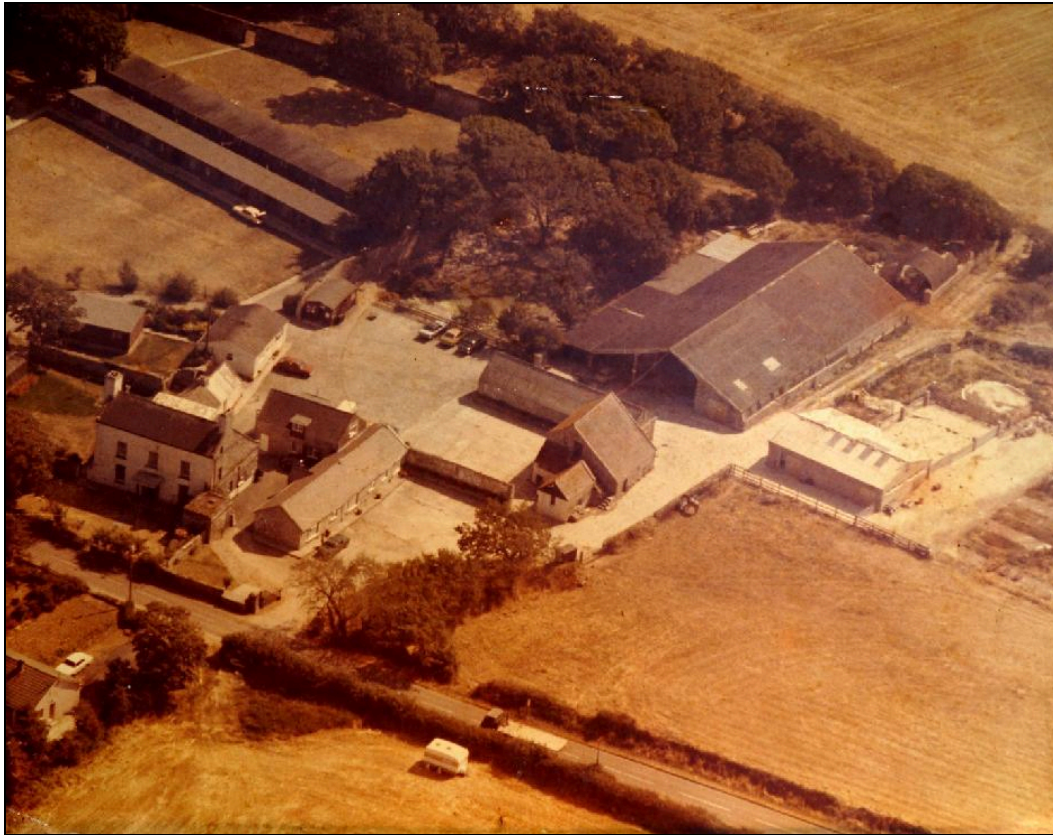


Figure 2; An aerial photograph of Green Grove in the possession of the present owner. This shows the farmstead as it appeared during the 1970s. The wooden chalets of the holiday village (GGJ2016_017) can be seen within the walled garden (GGJ2016_013), top left corner. The milking parlour (GGJ2016_008) is the building furthest to the right. The large agricultural shed (GGJ2016_009) upper centre right was demolished in recent times. The house and historic outbuildings are seen to the centre and left of centre. The stables (GGJ2016_003), to the right of the house (GGJ2016_001), had already been converted into holiday cottages by this time.

6.11 During the 20th century, Green Grove continued to be managed as a farmstead. By the 1970s the owners had branched into tourism and a holiday village (GGJ2016_017) based in a series of wooden holiday chalets, had been erected within the large walled garden (GGJ2016_013) to the southeast of the house. The wooden office building of the holiday village still stands today (GGJ2016_017). The property is said to have been the site of the first rotary milking parlour established in Wales. Even though the milking parlour was later removed, the building still stands today (GGJ2016_008). The farmstead was dominated by a large steel-framed shed (GGJ2-16_009) to the south of the historic core of the farmstead. This shed has been pulled down since 2014.



Figure 3; The earliest map showing the position of Green Grove is the 1809 Ordnance Survey Original Surveyors Drawings. This appears to show that the area presently occupied by Green Grove house and its outbuildings was developed by 1809, which is coincidentally the same year as William Hamilton leased the property to Thomas Stephens. There is little detail on this map, but it does not seem to show that the large walled garden to the southeast of the house had been created by 1809.



Figure 4; The 1858 1 inch to 1 mile scale First Series Ordnance Survey map is based on the 1809 Original Surveyors Drawings. The accuracy of the detail is questionable, but this map appears to show the house at Green Grove without the large range of outbuildings and walled garden to the south and southeast of the dwelling which appear on the 1:2500 scale First Edition Ordnance Survey map of 1865. This may confirm that the outbuildings and garden were added post-1809.



Figure 5; The extent of Green Grove as shown on the 1842 Manorbier Tithe Map. The house and gardens were located in parcel 525 but are not shown in detail. It is thought unlikely that the single building shown at the roadside represents the actual position of the house at that time, as the 1809 Ordnance Survey map seems to show the house in its present position. The field names are provided by the 1840 Tithe Apportionment and are;

- 395 Corner Park
- 513 West Croft
- 514 Black Park
- 515 Middle Croft
- 516 West Meadow
- 524 Green
- 525 House & Garden etc
- 526 New Park
- 527 Swines Park
- 528 East Meadow

7. Methodology

7.1 In April 2017, a watching brief was carried out by Trysor on the stripping for a new access road. In addition 3 trenches, 5 metres by 1.7 metres, were excavated in other parts of the development site.

7.2 The site code used was GGJ2016. The following number sequences were used to record contexts and photographs, see Table 1.

Number Sequence	Used For	Numbers Used
001 - 100	Site Gazetteer in WSI	001 to 018
101 -200	Photograph numbers	101 to 116 in WSI 117 to 144 in this report
201 to 300	Context numbers	201 to 210

Table 1: Number sequences used

7.3 The strip of the northern 50 metres of the new roadway to the west of Green Grove was watched down to the level needed for the roadway construction. The area south of this had been concreted in the past and this was removed in order to create a solid base for the roadway

7.4 The three evaluation trenches were placed in the areas in which it was proposed that houses be constructed. Trenches B and C were placed in slightly different locations in order to avoid problems with ground conditions, see Table 2 and Figures 6 and 7.

Trench	Dimensions and Location in WSI	Actual Dimensions and Location
A	5 metres east to west by 1.7 metres centred at SM0546098906	As planned
B	5 metres east to west by 1.7 metres centred at SM0545698852	5 metres east to west by 1.7 metres centred at SM0546098861
C	5 metres east to west by 1.7 metres centred at SM0542898856	5 metres approximately north to south by 1.7 metres centred at SM0542098859

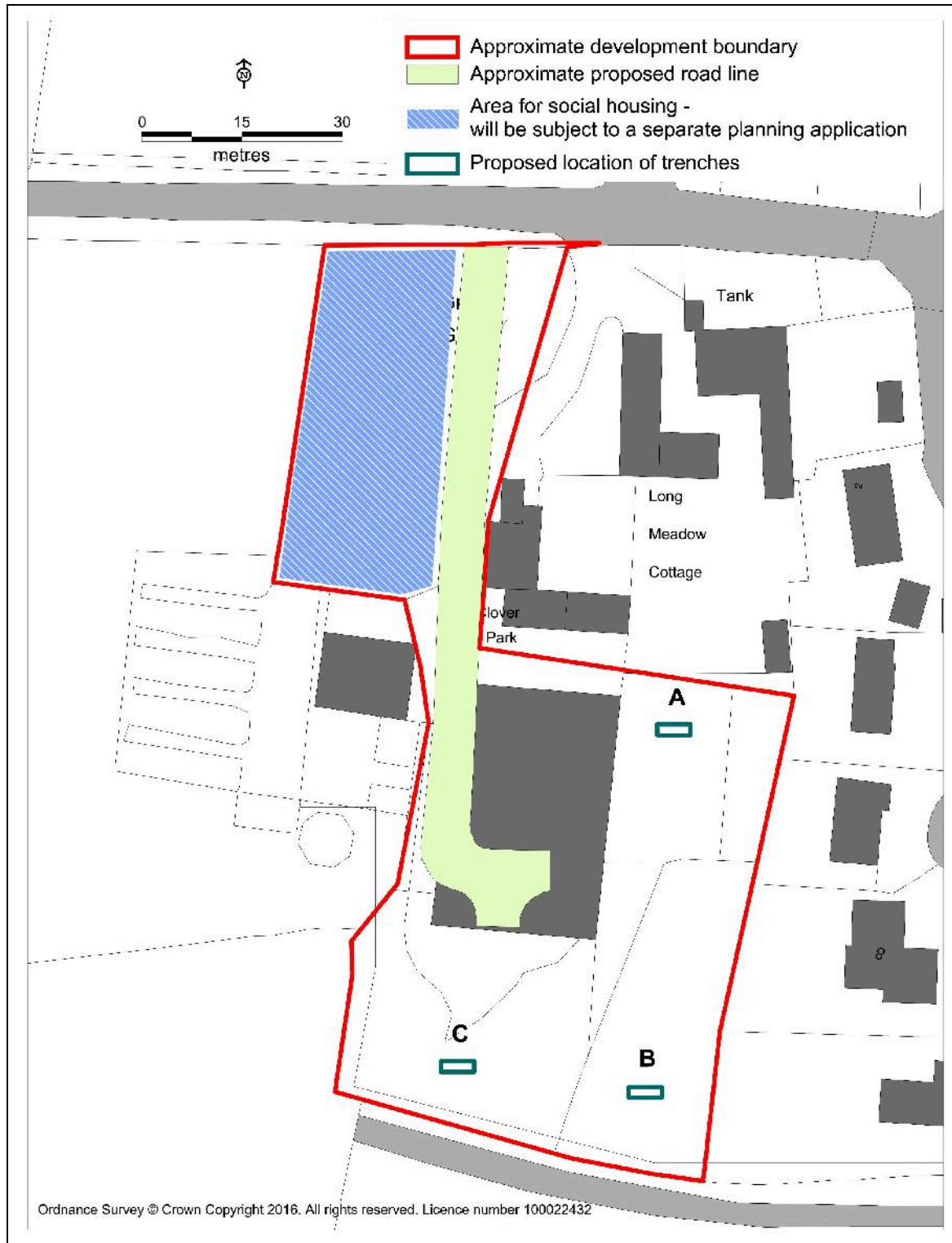


Figure 6: The location of the new roadway and the location of the 3 evaluation trenches as identified in the specification, see Appendix 2.



Figure 7: The actual location of the 3 evaluation trenches after conditions on site factored in.

8. Site Stratigraphy

8.1 The watching brief was carried out in accordance with the Chartered Institute for Archaeologists' *Standard and Guidance for an Archaeological Watching Brief* (Chartered Institute for Archaeologists, 2014).

8.2 Context Catalogue

Context Number	Trench	Depth	Description	Interpretation
201	A	0.15 metres	10YR 3/2, very dark greyish brown loam	Garden soil formed over infilled pond.
202	A	>0.65 metres	10YR 3/1 very dark grey clay with gravel and 40 to 50 % stone rubble up to 0.30 metres in length.	Infilling of pond – excavation stopped at 0.80 metres as trench was flooding.
203	B	0.15 metres	7.5 YR 4/3 brown clay with non coarse components	Topsoil in Trench B.
204	B	0.17 metres	10YR 4/3 brown friable silt clay	
205	B	-	7.5YR 4/4 brown clay with gravel and small stones	Natural Subsoil
206	C	0.23 metres	10YR5/6 yellowish brown friable clay with gravel	Modern redeposited subsoil
207	C	0.08 metres	10YR 3/1 very dark grey clay loam	Modern redeposited soil
208	C	0.14 metres	5YR 5/3 reddish brown gravel	Modern gravel layer
209	C	-	2.5YR 5/3 reddish brown clay	Natural subsoil
210	Road Stripping		10YR3/2 very dark greyish brown clay with small stones	Topsoil

8.3 Road Stripping (Plates 8 to 17)

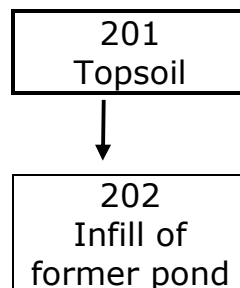
8.3.1 The northern 50 metres of the new roadway ran through a lawned area. The stripping of the topsoil (210) revealed that this area had been disturbed in the past with two pipe trenches, one containing a metal pipe and the other with an alkathene pipe. No archaeological features were noted, nor artefacts recovered predating 20th century.

8.3.2 The southern part of the new roadway ran through an area of concrete and nothing significant was noted.

8.4 Trench A (Plates 20 to 22)

8.4.1 Trench A was the trench excavated in the northern part of the garden south of Green Grove. It was approximately 5 metres east to west long and up to 1.70 metres wide and centred on 205460.54,198906.47.

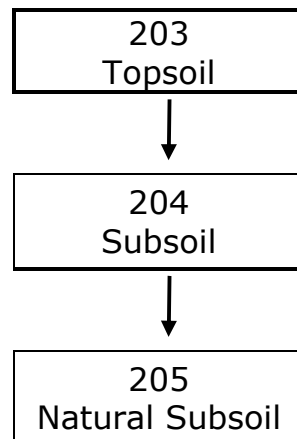
8.4.2 It was excavated by machine to a depth of 0.80 metres. Only two layers were observed. The topsoil or garden soil (201) of 0.15 metres depth overlay a layer (202) of stone rubble, gravel and clay infilling the upper parts of a former pond. Excavation was abandoned as ground water was inundating the trench and (202) was not fully removed but it contained 20th century pottery.



8.5 Trench B (Plates 23 to 25)

8.5.1 Trench B was in the southern part of the garden south of Green Grove. It was approximately 5 metres long east to west and up to 1.70 metres wide. It was excavated by machine to a depth of 0.50 metres and was centred on 205460.31, 198861.49.

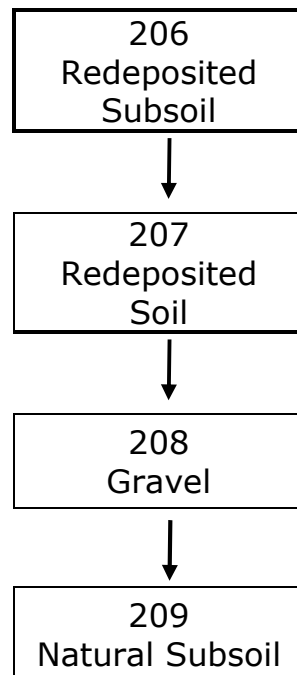
8.5.2 Three layers were observed. The topsoil or garden soil (203) was 0.15 metres deep and overlay a layer (204) of a friable silt clay about 0.17 meter deep. Layer (205) below (204) was the natural subsoil.



8.6 Trench C (Plates 26 to 28)

8.6.1 Trench A was the trench excavated in the western part of the area to the south of the new roadway of Green Grove. It was approximately 5 metres long approximately north to south and up to 1.70 metres wide. It was excavated by machine to a depth of 0.45 metres and centred on

8.6.2 Four layers were observed but the top three layers (206), (207) and (208) were all modern, the result of previous soil moving in the area. These overlay the natural subsoil (209).



9. Photographs

9.1 Colour digital photographs were taken of topsoil stripping and excavation of trenches using a 16M pixel camera. The following table describes the content of each photograph included in the project archive and their locations are provided in the following map, see Figure 8. The photographs are included in Appendix 1 at the end of the report.

Photo Number	Description	Date Taken	Direction
GGJ2016_117	General view of the area to be stripped for the new roadway	04/04/2017	Looking south
GGJ2016_118	General view of the area to be stripped for the new roadway	04/04/2017	Looking north
GGJ2016_119	General view of the southern part of the development site looking along former trackway and the area formerly occupied by a large agricultural building.	04/04/2017	Looking north
GGJ2016_120	General view of the development site	04/04/2017	Looking northeast
GGJ2016_121	General view of the development site	04/04/2017	Looking east.
GGJ2016_122	General view of the development site	04/04/2017	Looking west
GGJ2016_123	General view across the area of the new roadway	04/04/2017	Looking east
GGJ2016_124	Starting to strip the area of the new roadway, removing turf and (210). Immediately a metal pipe was revealed running within the eastern part of the stripped area	04/04/2017	Looking northwest
GGJ2016_125	Metal piping revealed in eastern side of the strip for the new road way	04/04/2017	Looking north northeast.
GGJ2016_126	Metal piping revealed in eastern side of the strip for the new road way	04/04/2017	Looking north northwest.
GGJ2016_127	Alkathene pipe in the western part of the stripped area for the new roadway.	04/04/2017	Looking north
GGJ2016_128	Alkathene pipe in the western part of the stripped area for the new roadway.	04/04/2017	Looking north
GGJ2016_129	Southern part of stripped area for the new roadway, showing alkathene water pipe	04/04/2017	Looking south southeast
GGJ2016_130	Northern part of the stripped area for the new roadway, showing pipe trench	04/04/2017	Looking northeast.

GGJ2016_131	The northern part of the stripped area for the new roadway.	04/04/2017	Looking south
GGJ2016_132	The northern part of the stripped area for the new roadway.	04/04/2017	Looking southeast
GGJ2016_133	The northern part of the stripped area for the new roadway.	04/04/2017	Looking east
GGJ2016_134	Excavation for part of drainage system, showing layers of made up ground	04/04/2017	Looking southwest
GGJ2016_135	Excavation for part of drainage system, showing layers of made up ground	04/04/2017	Looking northeast
GGJ2016_136	Trench A in area of former pond, showing water incursion	04/04/2017	Looking west
GGJ2016_137	Trench A in area of former pond, showing water incursion	04/04/2017	Looking east
GGJ2016_138	Section of Trench A across area of former pond looking south showing (201) and (202).	04/04/2017	Looking south
GGJ2016_139	Trench B, showing (205) in the base of the trench. The possible feature in the northeast corner of the feature was found to be of natural origin on excavation.	04/04/2017	Looking east
GGJ2016_140	Trench B, looking at section showing (203), (204) and (205). The possible feature in the northeast corner of the feature was found to be of natural origin on excavation.	04/04/2017	Looking north
GGJ2016_141	Trench B, looking west showing (205) in the base of the trench.	04/04/2017	Looking west
GGJ2016_142	Trench C looking south showing (208) with (209) in northeast corner.	04/04/2017	Looking south
GGJ2016_143	Trench C looking north showing (208) in base of trench, with (209) in northeast corner.	04/04/2017	Looking north
GGJ2016_144	Trench C, section looking west showing (206), (207), (208) and (209)	04/04/2017	Looking west

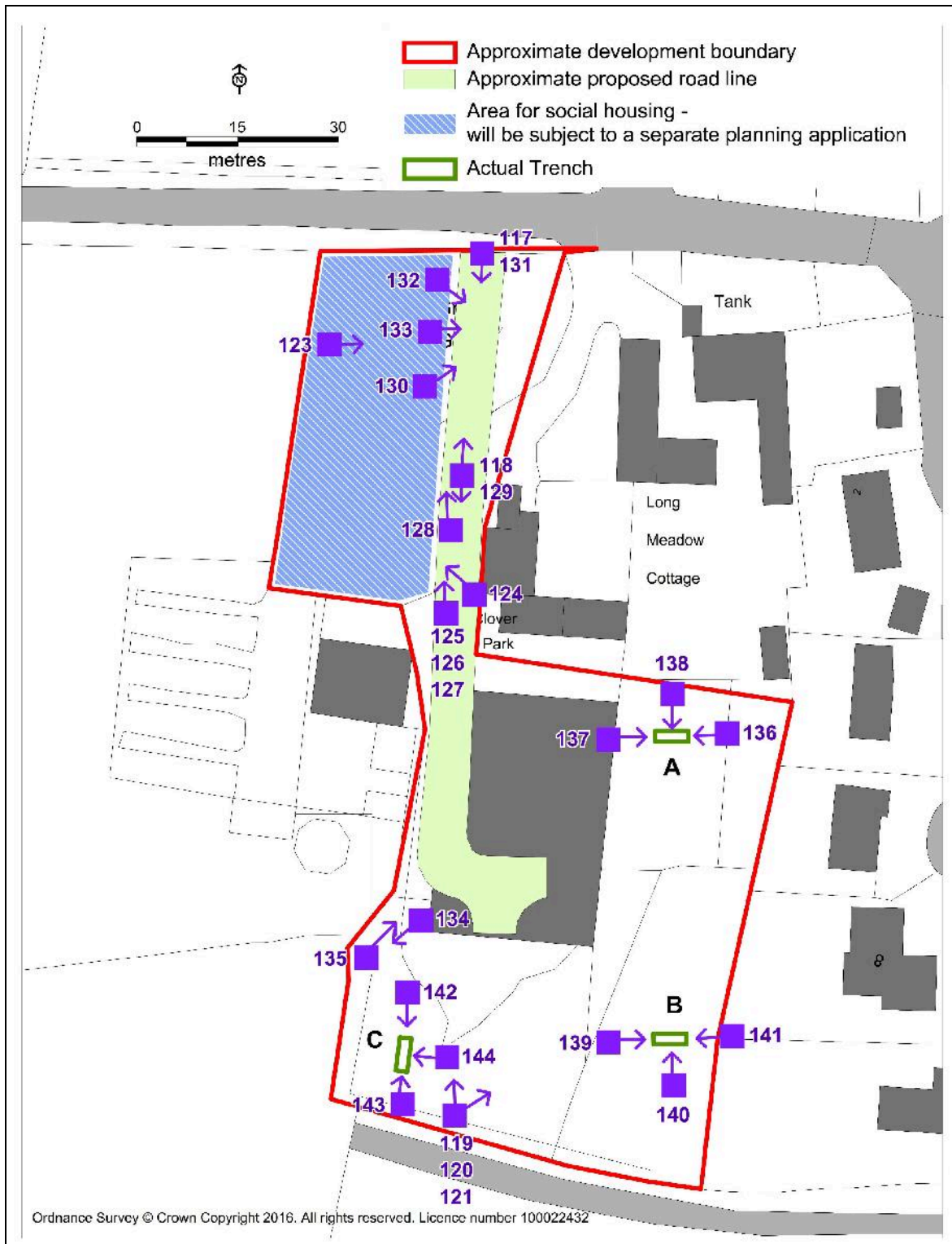


Figure 8: Location of photographs

10. Conclusion

10.1 No archaeological contexts or artefacts were observed during the stripping for the new roadway. Trench A proved the location of a former pond which had been backfilled in modern times with stone and gravel.

11 Archive

11.1 The archive and a copy of the report and photographs will be deposited with the National Monuments Record, Aberystwyth. Photographs are in TIFF format, following the standard required by the RCAHMW.

11.2 A further copy of the report will be supplied to the Historic Environment Record Dyfed Archaeological Trust, Swansea.

12. Sources

Chartered Institute for Archaeologists, 2014 , *Standard and Guidance for an Archaeological Watching Brief*, available online from the IfA website, www.archaeologists.net

APPENDIX 1: Photographs



Plate 1: GGJ2016_117, General view of the area to be stripped for the new roadway, looking south.



Plate 2: GGJ2016_118, General view of the area to be stripped for the new roadway, looking north.



Plate 3: GGJ2016_119, general view of the southern part of the development site looking north along former trackway and the area formerly occupied by a large agricultural building.



Plate 4: GGJ2016_120, general view of the development site, looking northeast.



Plate 5: GGJ2016_121, general view of the development site, looking east.



Plate 6: GGJ2016_122, General view of the development site, looking west.



Plate 7: GGJ2016_123, general view across the area of the new roadway, looking east.



Plate 8: GGJ2016_124, Starting to strip the area of the new roadway, removing turf and (210). Immediately a metal pipe was revealed running within the eastern part of the stripped area, looking northwest.



Plate 9: GGJ2016_125, Metal piping revealed in eastern side of the strip for the new road way, looking north northeast.



Plate10: GGJ2016_126, Metal pipe in eastern part of strip for the new roadway, looking north northwest.



Plate 11: GGJ2016_127, In the western part of the stripped area for the new roadway was an alkathene pipe, looking north. Metal pipe in eastern part of area had been removed.



Plate 12: GGJ2016_128, In the western part of the stripped area for the new roadway was an alkathene pipe, looking north. Metal pipe already removed.



Plate 13: GGJ2016_129, Southern part of stripped area for the new roadway, showing alkathene water pipe, looking south southeast.



Plate 14: GGJ2016_130, Northern part of the stripped area for the new roadway, showing pipe trench, looking northeast.



Plate 15: GGJ2016_131, the northern part of the stripped area for the new roadway, looking south, showing (210).



Plate 16: GGJ2016_132, the northern part of the stripped area for the new roadway, looking southeast, showing (210).



Plate 17: GGJ2016_133, the northern part of the stripped area for the new roadway, looking east, showing (210).



Plate 18: GGJ2016_134, Excavation for part of drainage system, showing layers of made up ground, looking southwest.



Plate 19: GGJ2016_135, Excavation for part of drainage system, showing layers of made up ground, looking northeast.



Plate 20: GGJ2016_136, Trench A looking west showing water incursion.



Plate 21: GGJ2016_137, Trench A across the former pond looking east, showing water in trench.



Plate 22: GGJ2016_138, Section of Trench A across area of former pond looking south showing (201) and (202). Excavation was halted due to water incursion.



Plate 23: GGJ2016_139, Trench B, looking east showing (205) in the base of the trench. The possible feature in the northeast corner of the feature was found to be of natural origin on excavation.



Plate 24: GGJ2016_140, Trench B, looking north at section showing (203), (204) and (205). The possible feature in the northeast corner of the feature was found to be of natural origin on excavation.



Plate 25: GGJ2016_141, Trench B, looking west showing (205) in the base of the trench.



Plate 26: GGJ2016_142, Trench C looking south showing (208) with (209 in northeast corner.



Plate 27: GGJ2016_143, Trench C looking north showing (208) in base of trench, with (209) in northeast corner.



Plate 28: GGJ2016_144, Trench C, section looking west showing (206), (207), (208) and (209)

APPENDIX 2 – Watching Brief Specification

GREEN GROVE, JAMESTON, PEMBROKESHIRE WRITTEN SCHEME OF INVESTIGATION

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**GREEN GROVE, JAMESTON, PEMBROKESHIRE
WRITTEN SCHEME OF INVESTIGATION**

Planning application – NP/15/0287/OUT (Pembrokeshire Coast National Park)
NP/16/0319/RES

1. Introduction

1.1 Mr Hughes of Green Grove, Jameston, Tenby, Pembrokeshire, SA70 8QJ has commissioned Trysor heritage consultants to write a Written Scheme of Investigation for Green Grove, Jameston, Tenby, Pembrokeshire, SA70 8QJ, relating to planning application numbers: NP/15/0287/OUT (Pembrokeshire Coast National Park) and NP/16/0319/RES.

1.2 The development is on land behind and to the west of Green Grove house in Jameston, Pembrokeshire at SS0544598905, see Figure 1.



Figure 1: Location of the development area at Green Grove

2. Objective of the Written Scheme of Investigation

2.1 The objective of this written scheme of investigation (WSI) is to specify the method to be used for a programme of archaeological work prior to or during construction of buildings and associated infrastructure at Green Grove, Jameston, Pembrokeshire related to outline planning application; NP/15/0287/OUT

3. The development

3.1 The planning application is for outline planning permission for six detached dwelling plots & a site for affordable housing. The site for affordable housing lies to the west of the current house on a currently grassed area and is not covered by this WSI.

3.2 A new access road will be created to the west of the current one, and run just to the west of south down the development plot.

4. Conditions on the planning consent

4.1 In granting approval for the outline application, the Local Planning Authority imposed a condition on the consent; the condition specifies the actions necessary to mitigate the impact of the development on the archaeological resource.

No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved in writing by the local planning authority

Reason

To assess the archaeological value of the site. Policy – Local Development Plan Policy 8 (Special Qualities) and Planning Policy Wales Edition 7 – Chapter 6 (Conserving the Historic Environment).

5. Nature of the archaeological resource

5.1 In a letter dated 17th June 2015, the Heritage Management Planning Archaeologist at Dyfed Archaeological Trust, archaeological advisors to the Local Authority, stated that

“...the proposed development lies within the Registered Historic Landscape of Manorbier HLWD (13), as contained within the Register of Landscapes of Special Historic Interest in Wales. It also lies within the periphery of the medieval settlement of Jameston. Consequently there is a strong possibility that archaeological material, may extend into the application area and that any remains surviving as buried archaeological features will be clearly adversely affected by the proposed development...”

5.2 In order to write this WSI, the relevant data was acquired from the Dyfed Historic Environment Record and historic mapping consulted.

5.3 The development site was walked and historic assets recorded. Documentary research was also undertaken.

5.4 This information was collated and can be seen in Figure 2, Appendix A and B. An assessment of the significance of the historic asset and the level of impact and appropriate

mitigation was made and a narrative provided below outlining what is know of medieval Jameston and the Green Grove itself

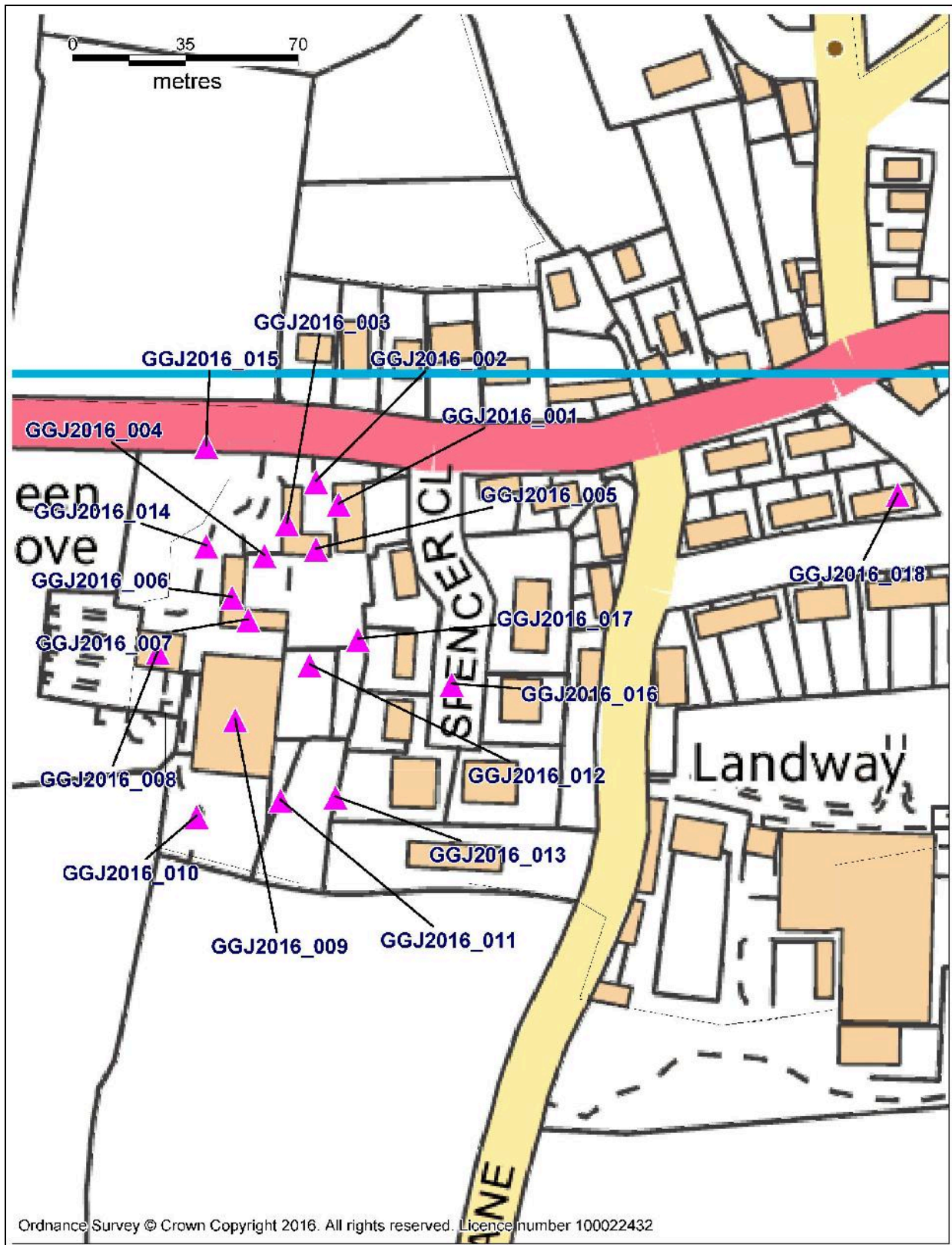


Figure 2: Historic assets recorded for written scheme of investigation

6. Historical Overview:

6.1 The origins the medieval settlement at Jameston has been discussed by several authors in the past. To the north and east of the modern village the existing field system is thought by some to be the remains of a co-axial field system. It is believed that this co-axial field system developed at right angles to the Ridgeway to the north. Later the field system appears to have been adapted to be used as strip fields. Strip fields were farmed in common by the inhabitants of medieval and early post-medieval villages and the existence of the field system is an indication that there was indeed a settlement here in medieval times. Prof. David Austin (1988) has argued that the co-axial field system is of Bronze Age date and the village was a Norman plantation onto the earlier landscape. Roberts (1987) argued that the settlement was of pre-Norman origin, surrounded by a later, Anglo-Norman, field system. Kissock (1997) concluded that the origins of the village of Jameston are later than the co-axial field system, but that the village itself was not necessarily of Norman foundation. Kissock does not state whether he thought the village was pre-Norman or post-Norman however. This divergence of opinion, and the lack of any archaeological or documentary evidence, means that there is therefore still no clear understanding of the origins of the village.

6.2 Documentary sources relating to medieval Jameston are limited. An early reference to Jameston is found in an inventory of lands held by the Bishop of St. David's in 1293. This lists a grange at "Apud Sanctu Jacobu" (near St. James' place) where the Bishop held a grange. Wheat, barley, oats, beans and peas were produced on this grange. Court records of 1331 refer to Jameston as a township.

6.3 There is no documentary record of a medieval chapel-of-ease at Jameston during the medieval period (the township was in the parish of Manorbier by late medieval times). It is possible that a grange chapel was located here when the Bishop of St. David's held land in the area, but the first evidence that there was a chapel-of-ease to Manorbier is provided by Christopher Saxton's Map of Pembrokeshire, published in 1578. This map marks Jameston with a small chapel, indicating that there is likely to have been such a building in the village by that time. Within a few decades, the Elizabethan antiquarian George Owen of Henllys, recorded that an small fair dedicated to St. James was held annually at Jameston (Pritchard, 1906, folio 75).

6.4 This scant evidence means that the form and extent of the early settlement at Jameston have never been proven. The most enduring medieval elements in the local landscape are the remains of the co-axial field system, if it is indeed accepted that they are of medieval date.

6.5 There is little known about the origins of the house at Green Grove (GGJ2016_001). It has been described as being of 17th century origin by the Royal Commission on the Ancient and Historic Monuments of Wales, but Cadw's Listed Building description suggests that it is an 18th century house, possibly incorporating earlier elements, which had been altered during the late 19th and early 20th centuries. The earliest feature is thought to be the large, off-centre fireplace in the reception room in the northeastern corner of the building. Features such as the stucco panelling and porch on the front elevation are likely to date to the early years of the 20th century. The cast-iron pillars supporting the porch roof and the fine cast-iron railings may reflect the fact that the owner of the property in the early 20th

century was Owen Thomas Jenkins, who was an industrialist with an association with the Dowlais Ironworks, Merthyr Tydfil.

6.6 Green Grove is mentioned in Land Tax returns of the 1790s and was the property of a wealthy inhabitant of Tenby, William Hamilton. Of Scottish birth, he was a high-ranking official in the Civil Service of the Honourable East India Company. It is not clear when he purchased Green Grove, or from whom. His death, aged 77, was reported in the Gentleman's Magazine & Historical Chronicle of December, 1819. His tomb is found in the church of St. Mary the Virgin, Tenby and bears the inscription;

In memory of William Hamilton, Esquire, eldest son of the late Dr. Robert Hamilton, Doctor of Divinity in the University of Edinburgh. He passed the active period of life on the coast of Coromandel, in the Civil Service of the Honourable the East India Company, to the great satisfaction and with the approbation of his conscience. On his return to Britain he resided some years at Hastings, Sussex, and retired finally to Tenby, South Wales, where he lived and here he died on the third of December, 1819, in the seventy-third year of his age, regretted by all who knew him. This memorial erected by his remaining brother, James Hamilton, Physician, Edinburgh.

A nearby tomb commemorates his son Robert Hamilton and his wife Anne;

Sacred to the beloved memory of Captain Robert Hamilton, R.N., 1 eldest son of William Hamilton, Esqr. He departed this life July 6th, 1837. He truly was the best of men. A good Christian, a most affectionate husband, a brave officer, a kind landlord, and was proverbially just in all his actions. He is gone to reap the reward of his well spent life after a severe and painful illness of more than five months, during which time his only thought was of mercy and pardon from his Redeemer. Sacred also to the memory of Anne Eliza, widow of the above Captain Robert Hamilton. She died very suddenly July 24th, 1848. Beloved and respected whilst alive, her loss will be universally felt and deplored by everyone who knew her. She was a kind friend to the poor and all whose necessities were made known to her. Those who had the privilege of her more intimate friendship have every reason deeply to mourn their sudden and melancholy bereavement. May her soul rest in peace.

6.7 Anne Hamilton is recorded as the owner of Green Grove on the 1842 Manorbier Parish tithe map. Unfortunately, this map does not provide a detailed plan of the house and outbuildings at Green Grove, but it does show that the house and gardens (marked as parcel 525) occupied the same area as the present house and outbuildings. It appears likely that the main historic buildings and the walled garden which characterised Green Grove were already in place by the 1840s. It seems likely that it was the Hamilton family, either in the time of William Hamilton or his son and daughter-in-law, had invested in the property, modernised the house and expanded the outbuilding range, including the addition of the large walled garden.

6.8 The Hamiltons do not appear to have resided at Green Grove. A deed held in the National Archives, dating to 1809, records that William Hamilton leased Green Grove to one Thomas Stephens for a period of "three lives" (National Library of Wales, Williams &

Williams, Solicitors, File 7685). Census returns of the period 1841 to 1871 show that the holding was being leased to the Skyrme family. John Skyrme, aged 64, was Anne Hamilton's tenant in at the time of the 1840 parish tithe survey. In 1851, Skyrme was recorded in the census return as farming 87 acres at Green Grove. He was followed by his son Joseph Skyrme, who was farming 97 acres here in 1871.

6.9 In 1871, Green Grove was put up for sale following the death of Miss Wilhelmina Hamilton, the daughter of Robert and Anne Hamilton, who had inherited the property upon the death of her mother in 1848. The sale advertisement in the Western Mail of August 11th, 1871 notes that Joseph Skyrme was a yearly tenant at that time. The advert describes the property as including *“a farmhouse and agricultural buildings, large orchard and garden, three cottages and gardens and about 64a. 1r. 34p. of productive arable, meadow and pasture land...”*. This description matches the layout of the farmstead as shown on the First Edition of the 1:2500 scale Ordnance Survey map of 1865. Most of the historic farm buildings still standing at Green Grove are identifiable on this map, suggesting that the holding was indeed well-developed by the mid-1800s.

6.10 By 1881 Green Grove had been purchased by Owen Thomas Jenkins. He had been born in 1841, the son of Rees Jenkins, farmer, of Blaencorrwg, Glyncorrwg in the Afan Valley, Glamorganshire. Blaencorrwg sat on top of profitable coal veins, which made Rees Jenkins a wealthy man. He had industrial interests by the 1850s and was a Director of the South Wales Mineral Railway. His son Owen followed his father's industrial and agricultural interests and was described as a “Gentlemen Farmer” in the 1881 Manorbier parish census. He apparently had interests in the iron industry as well as in railways. Owen Jenkins served as a JP in Jameston. He married his wife Gwenllian in Glyncorrwg in 1893, when he was 53. They had an adopted daughter, Martha, who was born at Narberth in 1896. She is recorded by the 1891 census as a 5 year old “Visitor” at Green Grove, named as Martha J. Smith. Owen Jenkins died in 1928 at Glyncorrwg. The heraldic shield, which is still to be seen on the water tank (GGJ2016_002) in the front garden of Green Grove, bears his intertwined initials OTJ. This water tank, along with the fine stuccoed front elevation of the house, its iron railings and porch, supported by cast-iron posts, all date to the period when Owen Jenkins resided here.

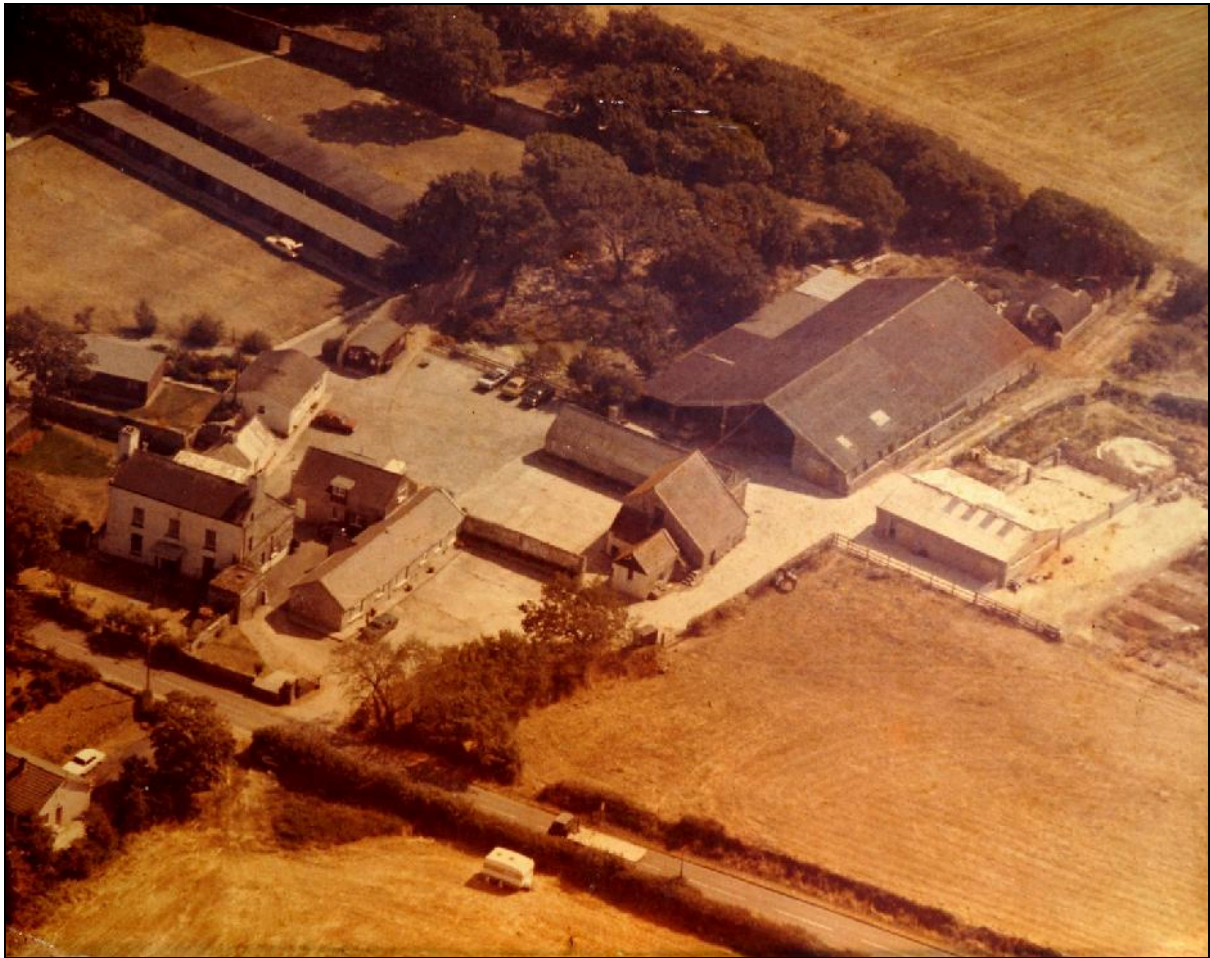


Plate 1; An aerial photograph of Green Grove in the possession of the present owner. This shows the farmstead as it appeared during the 1970s. The wooden chalets of the holiday village (GGJ2016_017) can be seen within the walled garden (GGJ2016_013), top left corner. The milking parlour (GGJ2016_008) is the building furthest to the right. The large agricultural shed (GGJ2016_009) upper centre right was demolished in recent times. The house and historic outbuildings are seen to the centre and left of centre. The stables (GGJ2016_003), to the right of the house (GGJ2016_001), had already been converted into holiday cottages by this time.

6.11 During the 20th century, Green Grove continued to be managed as a farmstead. By the 1970s the owners had branched into tourism and a holiday village (GGJ2016_017) based in a series of wooden holiday chalets, had been erected within the large walled garden (GGJ2016_013) to the southeast of the house. The wooden office building of the holiday village still stands today (GGJ2016_017). The property is said to have been the site of the first rotary milking parlour established in Wales. Even though the milking parlour was later removed, the building still stands today (GGJ2016_008). The farmstead was dominated by a large steel-framed shed (GGJ2-16_009) to the south of the historic core of the farmstead. This shed has been pulled down since 2014.



Figure 3; The earliest map showing the position of Green Grove is the 1809 Ordnance Survey Original Surveyors Drawings. This appears to show that the area presently occupied by Green Grove house and its outbuildings was developed by 1809, which is coincidentally the same year as William Hamilton leased the property to Thomas Stephens. There is little detail on this map, but it does not seem to show that the large walled garden to the southeast of the house had been created by 1809.

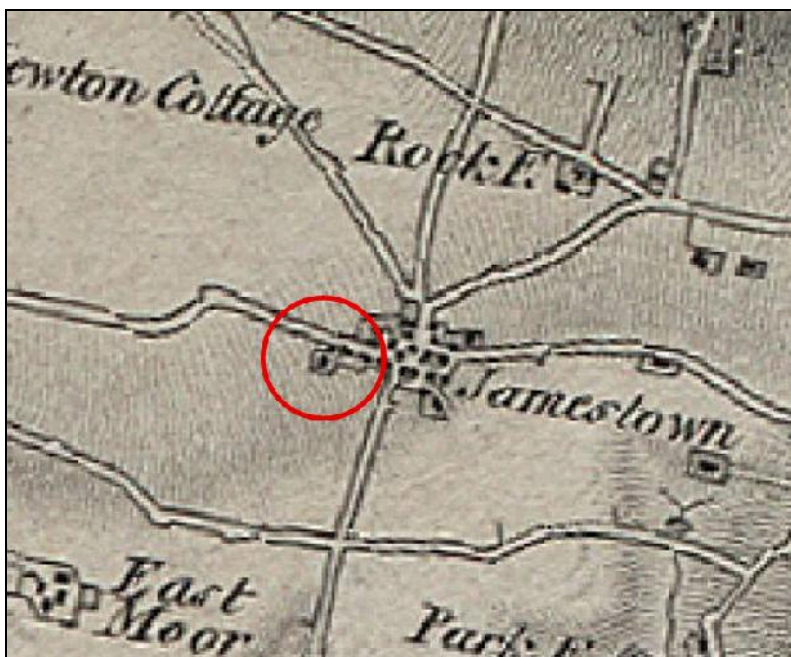


Figure 4; The 1858 1 inch to 1 mile scale First Series Ordnance Survey map is based on the 1809 Original Surveyors Drawings. The accuracy of the detail is questionable, but this map appears to show the house at Green Grove without the large range of outbuildings and walled garden to the south and southeast of the dwelling which appear on the 1:2500 scale First Edition Ordnance Survey map of 1865. This may confirm that the outbuildings and garden were added post-1809.



Figure 5; The extent of Green Grove as shown on the 1842 Manorbier Tithe Map. The house and gardens were located in parcel 525 but are not shown in detail. It is thought unlikely that the single building shown at the roadside represents the actual position of the house at that time, as the 1809 Ordnance Survey map seems to show the house in its present position. The field names are provided by the 1840 Tithe Apportionment and are;

- 395 Corner Park
- 513 West Croft
- 514 Black Park
- 515 Middle Croft
- 516 West Meadow
- 524 Green
- 525 House & Garden etc
- 526 New Park
- 527 Swines Park
- 528 East Meadow

7. Aims and Objectives of Proposed Mitigation

7.1 The objectives of the archaeological works are:

- to identify, investigate and record all significant buried archaeological deposits to assess the archaeological value of the site,
- at the conclusion of the project, to produce an integrated archive for the project work and a report setting out the results of the project and the archaeological conclusions that can be drawn from the recorded data.

7.2 The report will be provided to the NMR and regional HER, along with project database so that information can be added to the existing information about the archaeological resource.

8. Scope of Mitigation

8.1 It is proposed that the area of the new access road be watched as part of a supervised watching brief. This area would represent approximately 16% of the area to be developed under this application. It includes a section under the grassed area to the west of the house and adjacent to the A4139 road, where there has been no identified previous development. This would appear to be relatively undisturbed ground where any archaeological contexts associated with earlier settlement activity, should they exist, may survive. Much of the area which will be subject to the watching brief is currently sealed beneath a concrete access drive. The concrete appears to have been lain onto the earlier land surface and could protect the original ploughsoil and subsoil, which would be revealed during groundworks.

8.2 An additional three 5 metre by 1.7 metre trenches will be excavated to sample the areas beyond the access road.

8.3 The Chartered Institute for Archaeologists' Standard and Guidance for Archaeological Watching Brief (CIfA, 014b) was used to write this Written Scheme of Investigation. They define a watching brief as:

".....a formal programme of observation and investigation conducted during any operation carried out for non-archaeological reasons. This will be within a specified area or site on land, inter-tidal zone or underwater, where there is a possibility that archaeological deposits may be disturbed or destroyed. The programme will result in the preparation of a report and ordered archive."

8.4 The purpose of a watching brief is described as:

"a. to allow, within the resources available, the preservation by record of archaeological deposits, the presence and nature of which could not be established (or established with sufficient accuracy) in advance of development or other potentially disruptive works

b. to provide an opportunity, if needed, for the watching archaeologist to signal to all interested parties, before the destruction of the material in question, that an archaeological find has been made for which the resources allocated to the watching brief itself are not sufficient to support treatment to a satisfactory and proper standard

A watching brief is not intended to reduce the requirement for excavation or preservation of known or inferred deposits, and it is intended to guide, not replace, any requirement for contingent excavation or preservation of possible deposits.

The objective of a watching brief is to establish and make available information about the archaeological resource existing on a site.

8.5 This watching brief should establish whether any features can be identified as of possible archaeological significance within the groundworks for the access road of the proposed development.

8.6 If archaeological features are encountered further mitigation may be required.

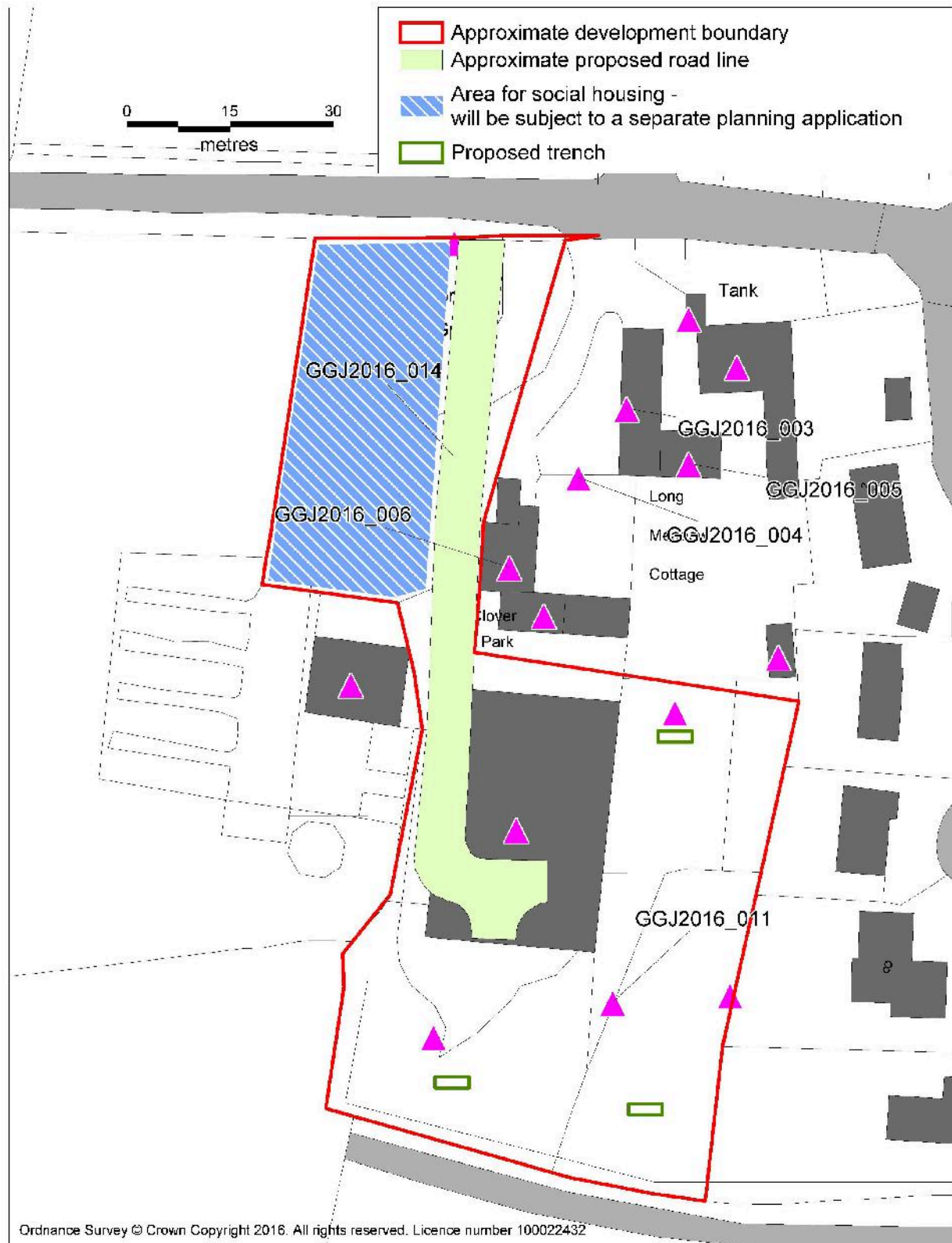


Figure 6: Location of the proposed access road and of the proposed watching brief (shaded in green) and the three 5 metre x 1.7 metre trenches..

9. Methodology

9.1 The surface strip of the new access road will be watched under archaeological supervision.

9.2 The watching brief will be carried out in accordance with Chartered Institute for Archaeologists' *Standard and Guidance for an Archaeological Watching Brief* (CIfA, 2014a)

9.3 A two-person team will undertake the surface strip and watch the excavation of groundworks associated with conversion of the buildings, and features of archaeological interest recorded. Excavation of any features will be limited to that necessary to establish their extent and character, unless their excavation is required to allow the development to proceed.

10. Recording

10.1 A plan of the groundworks, and representative sections if appropriate, will be drawn, at an appropriate scale, recording all features of archaeological interest. The plan will be based on the applicants' survey drawings of the development area. If archaeological features of contexts are encountered, plans will be drawn on permatrace to a scale of 1:10, 1:20 or 1:50, as appropriate.

10.2 A written record of all activity will be kept in a project specific notebook. If archaeological contexts are encountered they will be recorded following the *Central Excavation Unit Manual: Part 2: Recording*, 1986, using a consecutive numbering system.

10.3 Any artefacts will be dealt with in accordance with the guidance provided in the Chartered Institute for Archaeologists *Standard and Guidance for the collection, documentation, conservation and research of archaeological materials* (CIfA, 2014b). Any artefacts will be retained, cleaned and stored.

10.4 In the event of human burials being discovered the Ministry of Justice will be informed. The remains will initially be left *in situ*, and if removal is required, a Ministry of Justice license will be applied for under the Burial Act 1857.

10.5 Colour digital photographs will be taken, as appropriate, using a 16M pixel camera. A written record will be made on site of the photographs taken. Appropriate photographic scales will be used.

11. Contingency arrangements if archaeological features are discovered

11.1 In the event that archaeological remains are encountered, where appropriate investigation falls outside the scope of this specification, a meeting between Trysor, the applicant, Pembrokeshire Coast National Archaeology or their representative, and the Local Planning Authority case officer will be convened in order to agree a course of action. The applicant will be responsible for paying for any further work necessary such as curatorial monitoring, finds conservation, finds specialist, radio-carbon dating etc.

12. Health & Safety

12.1 Trysor will undertake a risk assessment in accordance with their health and safety policy.

13. Reporting

13.1 A report on the watching brief will be prepared according to the requirements of section 3.8 of the Chartered Institute for Archaeologists' *Standard and Guidance for an Archaeological Watching Brief* (CIfA, 2014a, p.14) following the completion of the work. Copies of the report will be provided to the client, the Regional Historic Environment Record and the National Monuments Record. This WSI will be included as Appendix A of the report.

14. Dissemination

14.1 A summary of the work undertaken and its findings will be submitted to *Archaeology in Wales*, the annual review of archaeological work in Wales collated the Council for British Archaeology Wales (CBA Wales).

15. Archive

15.1 The archive will be deposited with the National Monuments Record, including a copy of the final report in accordance with the CIfA's *Standard and Guidance for the creation, compilation, transfer and deposition of archaeological archives* (IfA, 2013c). This archive will include all written, drawn and photographic records relating directly to the investigations undertaken. Digital archives will follow the standard required by the RCAHMW (RCAHMW, 2015).

15.2 The significance of any artefacts retrieved will be assessed and this will determine where may be an appropriate place for deposition, subject to agreement by the legal owner, the landowner. Tenby Museum is not given in the table showing collecting areas of individual museums in Wales in . Scolton Manor Museum does not cover the National Park area. (National Panel for Archaeological Archives in Wales, 2008). The National Monuments Record again has limited scope for storing artefacts but they are well equipped for storing paper and digital records.

15.3 If the artefacts are deposited separately to the rest of an archive, a copy of the report and archive will be deposited with the artefacts.

16. Resources to be used

16.1 Two members of staff will undertake the watching brief. They will be equipped with standard field equipment, including digital cameras, GPS and first aid kits. Trysor have access to the computer hardware and software required to deliver the completed final report and archive to a professional standard.

17. Qualification of personnel

17.1 Trysor is a Registered Organisation with the Chartered Institute for Archaeologists and both partners are Members of the Chartered Institute for Archaeologists, www.archaeologists.net

17.2 Jenny Hall (BSc Joint Hons., Geology and Archaeology, MCIfA) had 12 years excavation experience, which included undertaking watching briefs prior to becoming the Sites and Monuments Record Manager for a Welsh Archaeological Trust for 10 years. Since 2004 she has been an independent archaeologist undertaking a variety of work that includes upland survey, desktop assessments and watching briefs.

17.3 Paul Sambrook (BA Joint Hons., Archaeology and Welsh, MCIfA, PGCE) has extensive experience as a fieldworker in Wales. He was involved with Cadw's pan-Wales

Deserted Rural Settlements Project for 7 years. He also undertook Tir Gofal field survey work and watching briefs. Since 2004 he has been an independent archaeologist undertaking a variety of work that includes upland survey, desktop assessments and watching briefs.

17.4 Dee Williams (BA Archaeology and Classical Studies) graduated from the University of Wales, Lampeter. After University she pursued a career in field archaeology. Her first supervisory post was with Wessex Archaeology (Manpower Service Commission 1984-5) as the Finds Officer on a large multi-period urban excavation in Dorchester. From 1986 to 1994 she was employed as the Finds Officer with the Dyfed Archaeological Trust. From 1994 to the present she has worked as an administrator in the Department of Archaeology at Lampeter but continues her research interests in finds with specialisms in ceramics and glass.

17.5 Martin Locock (BA, MCIfA) – Martin has undertaken many bone reports for Glamorgan Gwent Archaeological Trust and others. He has also undertaken studies of bricks and mortar.

17.6 Dr Ian Brooks (PhD, BA, MCIfA, FSA) - Flint assemblages of any size from a single artefact to many thousands of artefacts can be analysed. Recent projects have varied from a few artefacts recovered during the excavation of a late medieval house in North Wales to over 16,000 Mesolithic artefacts from Bath. In addition to standard typological studies Ian Brooks has developed specialist techniques to investigate the original source of the flint and the deliberate heat treatment of flint by the use of micropalaeontology.

17.7 Wendy Carruthers (BSc, MSc) has worked as a freelance archaeobotanist for over 30 years, mainly analysing plant macrofossils from sites in southern and central England and Wales. After graduating in Manchester she worked as a field botanist for a year, followed by a couple of years on archaeological excavations as a digger and planner. I then took the Masters course in Plant Taxonomy at Reading, and started working as a freelance archaeobotanist after I graduated. In the early 1990s she was the English Heritage Archaeobotanist at the Ancient Monuments Laboratory for four years. Over the years she has analysed charred, waterlogged, mineralised, silicified and desiccated plant remains. She is particularly interested in preservation by mineralisation.

18. Insurance & Professional indemnity

18.1 Trydor has Public Liability and Professional Indemnity Insurance.

19. Project identification

19.1 The project has been designated Trydor Project No. 2016/526. Site code is GGJ2016.

20. Monitoring

20.1 Staff from Pembrokeshire Coast National Park and the planning archaeologists at Dyfed Archaeological Trust will be welcome to visit the site and monitor the work. They will be informed as to when work will start on site and contact details given, although the surface strip/watching brief is may be spread over parts of several days following the progress of the development.

21. Sources

Ordnance Survey, 1809 Original Surveyors Drawing
Ordnance Survey, 1858, 1" to 1 mile
Ordnance Survey, 1865, 1:2500
Ordnance Survey, 1907, 1:2500
Manorbier parish tithe map, 1842 and apportionment dated to 1840

21.1 Non-published

Cadw, 1996, Listed Building description

Central Excavation Unit, 1986, *Central Excavation Unit Manual: Part 2: Recording*, 1986

Dyfed Archaeological Trust, 2015, *Re:NP/0287/OUT Green Grove, Jameston, Tenby, Residential Development SN0541/9895*, Letter dated 17th June 2015

National Library of Wales, Williams & Williams, Solicitors File 7685

RCAHMW, 2015, *RCAHMW guidelines for Digital Archives*, Version 1

21.2 Published

CIfA, 2014a, *Standard and Guidance for an archaeological watching brief*

CIfA, 2014b, *Standard and Guidance for the collection, documentation, conservation and research of archaeological materials.*

CIfA, 2014c, *Standard and Guidance for the creation, compilation, transfer and deposition of archaeological archives*

21.3 Web based materials

Historic Landscape Characterisation,
http://www.ggat.org.uk/cadw/historic_landscape/main/english/historical.htm, accessed July 2016

Historic Wales, <http://historicwales.gov.uk/>, accessed July 2016

Research Framework for the Archaeology of Wales

<http://www.archaeoleg.org.uk/index.html> accessed July 2016

21.4 Data Sources

Cadw, Historic Landscape all-Wales dataset, supplied 31/07/2014

Cadw, Historic Landscape Character Areas, supplied 08/08/2014

Cadw, Listed Building all-Wales dataset, supplied April 2016

Cadw, Parks and Gardens all-Wales dataset, supplied August 2015

Cadw, Scheduled Ancient Monument all-Wales dataset, supplied April 2016

Jenny Hall & Paul Sambrook

Trysor, July 2016

Appendix A Site Gazetteer

Green Grove Jameston, Pembrokeshire,
Watching Brief & Evaluation

ID number: GGJ2016_001 GREEN GROVE
HOUSE

Dyfed HER PRN: **NMR NPRN:** 22016

NGR: SS0546998960 Grid reference taken at centre of site

Period: Post Medieval **Broadclass:** Domestic

Form: Building **Condition:** Intact

Site Status: Listed Building

SAM number: **LB number:** 5974 **grade:** II

Trysor Description: There is little known about the origins of the house at Green Grove. It has been described as being of 17th century origin by the Royal Commission on the Ancient and Historic Monuments of Wales, but Cadw's Listed Building description suggests that it is an 18th century house, possibly incorporating earlier elements, which had been altered during the late 19th and early 20th centuries. The property was owned by the Hamilton family from the late 18th century until the late 1870s and it is likely that they invested in the building during that period, potentially enlarging and modernising an earlier building. The earliest feature is thought to be the large, off-centre fireplace in the reception room in the northeastern corner of the building. Features such as the stucco panelling and porch on the front elevation are likely to date to the early years of the 20th century. The cast-iron pillars supporting the porch roof and the fine cast-iron railings may reflect the fact that the owner of the property in the early 20th century was Owen Thomas Jenkins, who was an industrialist with an association with the Dowlais Ironworks, Merthyr Tydfil.

Rarity: Not rare

Distance from development: 20 metres

Group Value: The dwelling in a farmstead group

Evidential Value: Standing building, in use

Historical Value: Described by Cadw for listing purposes

Aesthetic Value: Listed for its architectural value

Communal Value: None

Setting: This 18th or 19th century dwelling stands to the south of the A4139 road at the western edge of Jameston village. The house faces north, to its south are a range of historic farm outbuildings, many of which are now used as holiday cottages.

Significance: Nationally Important

Any Direct Impact?: No
None

Any Indirect Impact?: Yes
Very Low
Intervisibility. Moving the access drive further away from the building will be a positive indirect impact

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***Level of Impact
on Setting:***

Very Low

***Comment on
Impact:***

The proposed development will see a wider access road constructed to the west of the house, leading into the area to the rear of Green Grove. Although this new access road will be visible from the house, it will represent only a minimal visual impact and will not affect key views of the building or its setting, or interrupt the relationship between the house and the associated historic farm buildings to the south.

Dyfed HER PRN:		NMR NPRN:	0
NGR:	SS0546298967 Grid reference taken at centre of site		
Period:	Post Medieval	Broadclass:	Water Supply and Drainage
Form:	Other Structure	Condition:	Intact
Site Status:			

	<i>SAM number:</i>	<i>LB number:</i>	<i>grade:</i>
<i>Trysor Description:</i>			A rectangular, single-storey, stone-built and flat roofed structure which stands at the northwestern corner of Green Grove house, Jameston. It measures about 4.5 metres north to south by 3 metres wide. A carved stone bearing a heraldic shield dated 1891 and the letters JO or OJ is set into the northern wall of the tank. There is an entrance door in the southern wall, which suggests that the tank is located in the upper part of the structure.

Rarity: Not common

Distance from 20 metres

Group Value: Associated with Green Grove house

Evidential Value: Standing structure in good condition

Historical Value: None

Aesthetic Value: A carved stone bearing a heraldic shield dated 1891 and the letters JO or OJ is set into the northern wall of the tank

Communal Value: None

Setting: This stone built water tank stands adjacent to the northwestern corner of the house at Green Grove, in the front garden. It was built in 1891 to supply water to the house.

Significance: Nationally Important

Any Direct Impact?:	No None
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Any Indirect Impact?:	Yes Very Low Visual impact from new access road. Moving the access drive further away from the structure will be a positive indirect impact
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Level of Impact on Setting: Very Low

Comment on Impact: This water tank building appears to be within the curtilage of Green Grove, a listed building. The proposed development will see a wider access road constructed to the west of the house, leading into the area to the rear of Green Grove. Although this new access road will be visible from the water tank, it will represent only a minimal visual impact and will not affect key views of the structure or interrupt its relationship with the house and its setting.

ID number: GGJ2016_003 GREEN GROVE
STABLE

Dyfed HER PRN: **NMR NPRN:** 0

NGR: SS0545398954 Grid reference taken at centre of site

Period: Post Medieval **Broadclass:** Agriculture and Subsistence

Form: Building **Condition:** Converted

Site Status:

	SAM number:	LB number:	grade:
Trynor Description:	This former stable block probably dates to the first half of the 19th century and would have been built to serve the house at Green Grove. It is one of a range of outbuildings built before the survey of the First Edition 1:2500 Ordnance Survey map of 1865, on which it appears. By the 1970s the stables had been converted into holiday cottages managed by Green Grove farm.		

Rarity: Not rare

Distance from development: 15 metres

Group Value: Part of the historic core of Green Grove farmstead

Evidential Value: Standing building, converted into cottages

Historical Value: None

Aesthetic Value: None

Communal Value: None

Setting: A 19th century stable block built to serve Green Grove house. It stands to the southwest of the house. It was converted into a series of holiday cottages in the 1970s.

Significance: Locally Important

Any Direct Impact?: No
None

Any Indirect Impact?: Yes
Very Low
Intervisibility. Moving the access drive further away from the building will be a positive indirect impact.

Level of Impact on Setting: None

Comment on Impact: The proposed development will see a wider access road constructed to the west of the house, leading into the area to the rear of Green Grove. Although this new access road will be visible from the water tank, it will represent only a minimal visual impact and will not affect key views of the building or interrupt its relationship with the house and farmyard setting.

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ID number: GGJ2016_004 GREEN GROVE
COW SHED

Dyfed HER PRN: **NMR NPRN:** 0

NGR: SS0544698944 Grid reference taken at centre of site

Period: Post Medieval **Broadclass:** Agriculture and Subsistence

Form: Building **Condition:** Near Destroyed

Site Status:

	SAM number:	LB number:	grade:
Trydor Description:	This former cowshed probably dates to the first half of the 19th century and would have been built to serve the house at Green Grove. It is one of a range of outbuildings built before the survey of the First Edition 1:2500 Ordnance Survey map of 1865, on which it appears. The building appears on subsequent Ordnance Survey maps up until the 1968 1:2500 map, but appears to have been demolished by the 1980s, with only its southern, lateral wall retained as a boundary wall dividing the farmyard area. An aerial photograph in the ownership of the present owner, thought to date to the 1970s, shows the building after it had been demolished.		

Rarity: Not rare

Distance from development: 10 metres

Group Value: Part of the historic core of Green Grove farmstead

Evidential Value: Little survives of this building

Historical Value: None

Aesthetic Value: None

Communal Value: None

Setting: A 19th century cowshed built to serve Green Grove house. It stood to the southwest of the house. It was demolished by the late 20th century and only the southern lateral wall still stands.

Significance: Minor Importance

Any Direct Impact?: No
None

Any Indirect Impact?: No
None

Level of Impact on Setting: None

Comment on Impact: Little of this building survives and the impact of the development would therefore be inconsequential.

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ID number: GGJ2016_005 GREEN GROVE
OUTBUILDING

Dyfed HER PRN: **NMR NPRN:** 0

NGR: SS0546298946 Grid reference taken at centre of site

Period: Post Medieval **Broadclass:** Agriculture and Subsistence

Form: Building **Condition:** Converted

Site Status:

	SAM number:	LB number:	grade:
Trydor Description:	A single storey farm building to the south of the house at Green Grove. It does not appear on the 1907 edition of the 1:2500 Ordnance Survey map, but is shown on the 1953 1:10560 Ordnance Survey map. This suggests that it is of 20th century date. It appears on an aerial photograph of Green Grove, in the possession of the present owner and thought to date to the 1970s, when it appears to have been in use as a cottage.		

Rarity: Common

Distance from development: 25 metres

Group Value: Part of the historic core of Green Grove farmstead

Evidential Value: Standing building, in use

Historical Value: None

Aesthetic Value: None

Communal Value: None

Setting: A 20th century outbuilding built to serve Green Grove farm. It stands to the south of the house. It was converted into a cottage in the 1970s and appears to be in use as a holiday cottage in 2016.

Significance: Locally Important

Any Direct Impact?: No
None

Any Indirect Impact?: Yes
Very Low
Intervisibility

Level of Impact on Setting: None

Comment on Impact: This building would be intervisible with the new dwellings proposed to the south of Green Grove.

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ID number: GGJ2016_006 GREEN GROVE
COACH HOUSE?

Dyfed HER PRN: **NMR NPRN:** 0

NGR: SS0543698331 Grid reference taken at centre of site

Period: Post Medieval **Broadclass:** Transport

Form: Building **Condition:** Converted

Site Status:

	SAM number:	LB number:	grade:
Trydor Description:	This former coach house probably dates to the first half of the 19th century and would have been built to serve the house at Green Grove. It is one of a range of outbuildings built before the survey of the First Edition 1:2500 Ordnance Survey map of 1865, on which it appears. An aerial photograph in the ownership of the present owner, thought to date to the 1970s, shows the building was still in use as a farm building at that time. By the early 21st century it had been converted into a cottage.		
Rarity:	Not rare		
Distance from development:	Adjacent		
Group Value:	Part of the historic core of Green Grove farmstead		
Evidential Value:	Standing building, in use		
Historical Value:	None		
Aesthetic Value:	None		
Communal Value:	None		
Setting:	A 19th century outbuilding built to serve Green Grove farm. It stands to the southwest of the house. It was converted into a cottage by the early 21st century and appears to be in use as a cottage in 2016.		
Significance:	Locally Important		
Any Direct Impact?:	No None		
Any Indirect Impact?:	Yes Very Low Intervisibility		
Level of Impact on Setting:	None		
Comment on Impact:	This building stands adjacent to the present access drive at Green Grove, which would be followed by the new access road to the houses planned to the south of the farmyard. More traffic may now use this access drive, but otherwise there would be little change to the setting of the building.		

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ID number: GGJ2016_007 GREEN GROVE
OUTBUILDING

Dyfed HER PRN: **NMR NPRN:** 0
NGR: SS0544198924 Grid reference taken at centre of site
Period: Modern **Broadclass:** Agriculture and Subsistence
Form: Building **Condition:** Converted
Site Status:

	SAM number:	LB number:	grade:
Trysor Description:	A single storey farm building to the south of the house at Green Grove. It does not appear on the 1866 1:2500 Ordnance Survey map, but is shown on the 1907 edition of the map. This suggests that it is of late 19th or early 20th century date. It appears on an aerial photograph of Green Grove, in the possession of the present owner and thought to date to the 1970s, when it was still used as a farm building. By the early 21st century the building had been converted for use as a holiday cottage.		
Rarity:	Common		
Distance from development:	10 metres		
Group Value:	Part of the historic core of Green Grove farmstead		
Evidential Value:	Standing building, in use		
Historical Value:	None		
Aesthetic Value:	None		
Communal Value:	None		
Setting:	A late 19th or early 20th century outbuilding built to serve Green Grove farm. It stands to the southwest of the house and is attached to the southern gable wall of the coach house. It was converted into a cottage by the 21st century and appears to be in use as a holiday cottage in 2016.		
Significance:	Locally Important		
Any Direct Impact?:	No None		
Any Indirect Impact?:	Yes Very Low Intervisibility		
Level of Impact on Setting:	None		
Comment on Impact:	This building would be intervisible with the new dwellings proposed to the south of Green Grove. These will replace a large agricultural shed which has already been demolished.		

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ID number: GGJ2016_008 GREEN GROVE
MILKING PARLOUR

Dyfed HER PRN: **NMR NPRN:** 0
NGR: SS0541398914 Grid reference taken at centre of site
Period: Modern **Broadclass:** Agriculture and Subsistence
Form: Building **Condition:** Damaged
Site Status:

	SAM number:	LB number:	grade:
Trynor Description:	This 20th century farm building formerly housed a rotary milking parlour. It is said that it was the first rotary milking parlour to be installed on a Welsh farm and possibly dates to the 1970s. The milking equipment was taken out some decades later and the building converted for use as a swimming pool for the holiday village established at Green Grove. The building is now used as a farm shed.		
Rarity:	Not common		
Distance from development:	Adjacent		
Group Value:	Part of the 20th century building range which served Green Grove farmstead		
Evidential Value:	Standing building		
Historical Value:	Said to have housed the first rotary milking parlour in Wales		
Aesthetic Value:	None		
Communal Value:	None		
Setting:	This 20th century farm building which formerly housed a rotary milking parlour, which stands at the southwestern side of the farmyard building complex at Green Grove.		
Significance:	Locally Important		
Any Direct Impact?:	No None		
Any Indirect Impact?:	Yes Very Low Intervisibility		
Level of Impact on Setting:	None		
Comment on Impact:	This building would be intervisible with the new dwellings proposed to the south of Green Grove and adjacent to the access road to the development. The houses will replace a large agricultural shed which has already been demolished. The access road will follow an existing access track. More traffic may now use this access road, but otherwise there would be little change to the setting of the building.		

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ID number: GGJ2016_009 GREEN GROVE
AGRICULTURAL BUILDING

Dyfed HER PRN: **NMR NPRN:** 0
NGR: SS0543798893 Grid reference taken at centre of site
Period: Modern **Broadclass:** Agriculture and Subsistence
Form: Building **Condition:** Destroyed
Site Status:

	SAM number:	LB number:	grade:
Trysor Description:	A large, steel-framed agricultural shed at the southern side of the farmyard at Green Grove. It is shown on the 1968 1:2500 Ordnance Survey map. An application for its demolition was made in 2014 and it had been removed by 2016.		
Rarity:	Common		
Distance from development:	On site		
Group Value:	Part of the 20th century building range which served Green Grove farmstead		
Evidential Value:	Historic mapping		
Historical Value:	None		
Aesthetic Value:	None		
Communal Value:	None		
Setting:	This large 20th century agricultural shed stood to the south of the historic core of Green Grove farmstead and was built in the 1960s. It has recently been demolished.		
Significance:	Minor Importance		
Any Direct Impact?:	No None		
Any Indirect Impact?:	No None		
Level of Impact on Setting:	None		
Comment on Impact:	This building no longer survives.		

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ID number: GGJ2016_010 GREEN GROVE
AGRICULTURAL BUILDING

Dyfed HER PRN: **NMR NPRN:** 0
NGR: SS0542598863 Grid reference taken at centre of site
Period: Modern **Broadclass:** Agriculture and Subsistence
Form: Building **Condition:** Destroyed
Site Status:

	SAM number:	LB number:	grade:
Trysor Description:	This relatively small farm shed is visible on an aerial photograph of Green Grove thought to date to the 1970s. It was in a state of dereliction at that time, but was a low building, with half-round asbestos sheet roofing on a concrete block base. The building had been cleared away by the end of the 20th century.		
Rarity:	Common		
Distance from development:	On site		
Group Value:	Part of the 20th century building range which served Green Grove farmstead		
Evidential Value:	Historic mapping		
Historical Value:	None		
Aesthetic Value:	None		
Communal Value:	None		
Setting:	This small 20th century agricultural shed stood to the south of the historic core of Green Grove farmstead. It has recently been demolished.		
Significance:	Minor Importance		
Any Direct Impact?:	No None		
Any Indirect Impact?:	No None		
Level of Impact on Setting:	None		
Comment on Impact:	This building no longer survives.		

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ID number: GGJ2016_011 GREEN GROVE
BANK (EARTHWORK)

Dyfed HER PRN: **NMR NPRN:** 0

NGR: SS0545198868 Grid reference taken at centre of site

Period: Post Medieval **Broadclass:** Agriculture and Subsistence

Form: Earthwork **Condition:** Damaged

Site Status:

	SAM number:	LB number:	grade:
Trydor Description:	A substantial earthwork boundary bank which defined a small field parcel at the southern side of the farmyard area at Green Grove. It abuts a large walled garden at its eastern side. It is likely that the bank was created during the first half of the 19th century, when the house and gardens of Green Grove are thought to have been extensively remodelled by the Hamilton family.		

Rarity: Common

Distance from development: On site

Group Value: Part of the historic gardens of Green Grove

Evidential Value: Earthwork bank, intact

Historical Value: None

Aesthetic Value: None

Communal Value: None

Setting: An earthwork bank of probable 19th century date which defined a small field or paddock within the gardens associated with Green Grove. It was formerly tree-lined but the trees have been removed in modern times and the bank is now bare.

Significance: Locally Important

Any Direct Impact?: Yes
Very High
This bank may be removed

Any Indirect Impact?: No
None

Level of Impact on Setting: Very High

Comment on Impact: This 19th century earthwork bank could potentially be removed to make way for the houses of the proposed development.

ID number: GGJ2016_012 GREEN GROVE
POND

Dyfed HER PRN: **NMR NPRN:** 0

NGR: SS0546098910 Grid reference taken at centre of site

Period: Post Medieval **Broadclass:** Agriculture and Subsistence

Form: Documentary Evidence **Condition:** Unknown

Site Status:

	SAM number:	LB number:	grade:
Trydor Description:	A large, rectangular pond is shown on the 1866 1:2500 Ordnance Survey map at the southern side of the farmyard area at Green Grove. The pond is still present at the time of the 1968 edition of the 1:2500 map and appears to still exist on an aerial photograph, thought to date to the 1970s, which is held by the present owner of Green Grove. By the early 21st century the pond had been infilled and the area was a level, grass lawn when seen in 2016.		

Rarity: Common

Distance from development: On site

Group Value: Part of the historic gardens of Green Grove

Evidential Value: Historic mapping

Historical Value: None

Aesthetic Value: None

Communal Value: None

Setting: A pond of unknown origin which formerly existed to the south of Green Grove house. It has been infilled in modern times.

Significance: Minor Importance

Any Direct Impact?: Yes
High
Development will take place on the site of the now infilled pond

Any Indirect Impact?: No
None

Level of Impact on Setting: None

Comment on Impact: Although this pond has been infilled, the area would be part of the proposed development and archaeological contexts associated with the pond could be disturbed. The origins of the pond are not understood.

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ID number: GGJ2016_013 GREEN GROVE
WALLED GARDEN

Dyfed HER PRN: **NMR NPRN:** 0

NGR: SS0546898869 Grid reference taken at centre of site

Period: Post Medieval **Broadclass:** Gardens Parks & Urban Spaces

Form: Other Structure **Condition:** Damaged

Site Status:

	SAM number:	LB number:	grade:
Trynor Description:	A large walled garden, possibly originally created as an orchard, which stood to the southeast of the house at Green Grove. It is likely that it was created during the first half of the 19th century, when the house and gardens of Green Grove are thought to have been extensively remodelled by the Hamilton family. A "large orchard and garden" is mentioned in a sale advert for Green Grove published in the Western Mail on August 11th, 1871. By the early 21st century the garden was developed for housing, but the high stone wall has been retained and surrounds the seven houses built across the garden, now known as Spencer Close.		
Rarity:	Not rare		
Distance from development:	Adjacent		
Group Value:	Part of the historic gardens of Green Grove		
Evidential Value:	Historic mapping. Boundary wall survives		
Historical Value:	None		
Aesthetic Value:	None		
Communal Value:	None		
Setting:	A large walled garden, possibly originally created as an orchard, which stood to the southeast of the house at Green Grove. It was defined by a high stone wall, which survives today. In modern times a housing estate consisting of seven houses has been built within the walls.		
Significance:	Locally Important		
Any Direct Impact?:	No None		
Any Indirect Impact?:	Yes Very Low Intervisibility		
Level of Impact on Setting:	Moderate		
Comment on Impact:	Modern housing within the walled garden has significantly altered its character and setting. There is also modern housing outside the northern, eastern and southern sides of the garden wall. The proposed development will close views of the only side which remains unhindered by modern development. The wall will be retained by the development however.		

ID number: GGJ2016_014 GREEN GROVE

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WALL

Dyfed HER PRN:

NMR NPRN: 0

NGR: SS0542898947 Grid reference taken at point along linear site

Period: Post Medieval **Broadclass:** Monument (By Form)

Form: Other Structure **Condition:** Damaged

Site Status:

	SAM number:	LB number:	grade:
Trydor Description:	A short length of low, stone walling, alongside the western edge of the drive into Green Grove. It runs for some 11 metres and is no more than 40cm high. It may be a fragment of a field boundary wall that predates the drive, or follow the line of an earlier field boundary.		
Rarity:	Common		
Distance from development:	On site		
Group Value:	Possibly part of the historic field system of Green Grove farm		
Evidential Value:	Short length of stone walling		
Historical Value:	None		
Aesthetic Value:	None		
Communal Value:	None		
Setting:	A short length of low, stone walling, alongside the western edge of the drive into Green Grove.		
Significance:	Minor Importance		
Any Direct Impact?:	Yes Very High This wall will be removed		
Any Indirect Impact?:	No None		
Level of Impact on Setting:	None		
Comment on Impact:	This feature will be removed by the construction of the new access road into the development site.		

ID number: GGJ2016_015 GREEN GROVE

WALL

Dyfed HER PRN: **NMR NPRN:** 0

NGR: SS0542898978 Grid reference taken at point along linear site

Period: Modern **Broadclass:** Monument (By Form)

Form: Other Structure **Condition:** Intact

Site Status:

	SAM number:	LB number:	grade:
Trydor Description:	This stone wall forms the northern boundary of the western garden at Green Grove. It has the appearance of being a historic feature but is of modern origin. An aerial photograph, thought to date to the 1970s, which is held by the present owner of Green Grove, shows that the boundary was of a hedge and fence at that time, not a stone wall.		

Rarity: Common

Distance from development: On site

Group Value: Associated with Green Grove farm

Evidential Value: Standing wall, in good condition

Historical Value: None

Aesthetic Value: None

Communal Value: None

Setting: This stone wall forms the northern boundary of the western garden at Green Grove, alongside the A4139 road.

Significance: Minor Importance

Any Direct Impact?: Yes
Moderate
Part of the wall will be removed to create a new access point

Any Indirect Impact?: No
None

Level of Impact on Setting: None

Comment on Impact: A short section will be removed to create a gap for the new access road into the development site.

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ID number: GGJ2016_016 GREEN GROVE
HOLIDAY PARK

Dyfed HER PRN: **NMR NPRN:** 0
NGR: SS0550498904 Grid reference taken at centre of site
Period: Modern **Broadclass:** Recreation
Form: Complex **Condition:** Destroyed
Site Status:

	SAM number:	LB number:	grade:
Trysor Description:	A holiday park was established at Green Grove, possibly during the 1970s. Accommodation was provided in a combination of wooden chalets, situated within the walled garden of Green Grove, and converted farm buildings. An aerial photograph, thought to date to the 1970s, which is held by the present owner of Green Grove, shows the holiday park in its heyday.		
Rarity:	Not rare		
Distance from development:	Adjacent		
Group Value:	None		
Evidential Value:	Aerial photograph		
Historical Value:	None		
Aesthetic Value:	None		
Communal Value:	None		
Setting:	A holiday park was established at Green Grove, possibly during the 1970s. Accommodation was provided in a combination of wooden chalets, situated within the walled garden of Green Grove, and converted farm buildings. The holiday park had been closed by the late 20th century and the wooden chalets removed. The farm buildings are now used for Green Grove B&B.		
Significance:	Locally Important		
Any Direct Impact?:	No None		
Any Indirect Impact?:	No None		
Level of Impact on Setting:	None		
Comment on Impact:	The Holiday Park does not survive.		

ID number: GGJ2016_017 GREEN GROVE

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OFFICE

Dyfed HER PRN:

NMR NPRN: 0

NGR: SS0547598918 Grid reference taken at centre of site

Period: Modern

Broadclass: Recreation

Form: Building

Condition: Intact

Site Status:

	SAM number:	LB number:	grade:
Trysor Description:	A holiday park was established at Green Grove, possibly during the 1970s. This wooden shed was used as the reception building and office for the holiday park and it remains standing and in good condition in 2016. The building appears on an aerial photograph, thought to date to the 1970s, which is held by the present owner of Green Grove.		
Rarity:	Not common		
Distance from development:	Adjacent		
Group Value:	Formerly part of the Green Grove Holiday Park		
Evidential Value:	Standing building		
Historical Value:	None		
Aesthetic Value:	None		
Communal Value:	None		
Setting:	This wooden shed was used as the reception building and office for the holiday park at Green Grove in the 1970s and it remains standing, to the south of the house, in 2016.		
Significance:	Locally Important		
Any Direct Impact?:	No None		
Any Indirect Impact?:	Yes Low Intervisibility.		
Level of Impact on Setting:	Moderate		
Comment on Impact:	The development would occur on land immediately to the south of this building which is now open ground. It would change the setting of the building and be highly visible.		

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ID number: GGJ2016_018 JAMESTON
SETTLEMENT

Dyfed HER PRN: **NMR NPRN:** 0

NGR: SS0564298963 Grid reference taken at centre of site

Period: Medieval? **Broadclass:** Domestic

Form: Documentary Evidence **Condition:** Unknown

Site Status:

Trynor Description:	SAM number:	LB number:	grade:
	<p>The origins the medieval settlement at Jameston has been discussed by several authors in the past. The remains of what is believed to be a co-axial field system can still be seen in the modern landscape to the north and east of the modern village. Strip fields were farmed in common by the inhabitants of medieval and early post-medieval villages and the existence of the field system is an indication that there was indeed a settlement here in medieval times. Prof. David Austin (1988) has argued that the co-axial field system is of Bronze Age date and the village was a Norman plantation onto the earlier landscape. Roberts (1987) argued that the settlement was of pre-Norman origin, surrounded by a later, Anglo-Norman, field system. Kisson (1997) concluded that the origins of the village of Jameston are later than the co-axial field system, but that the village itself was not necessarily of Norman foundation. Kisson does not state whether he thought the village was pre-Norman or post-Norman however. This divergence of opinion, and the lack of any archaeological or documentary evidence, means that there is therefore still no clear understanding of the origins of the village.</p>		

Documentary sources relating to medieval Jameston are limited. An early reference to Jameston is found in an inventory of lands held by the Bishop of St. David's in 1293. This lists a grange at "Apud Sanctu Jacobu" (near St. James' place) where the Bishop held a grange. Wheat, barley, oats, beans and peas were produced on this grange. Court records of 1331 refer to Jameston as a township.

There is no documentary record of a medieval chapel-of-ease at Jameston during the medieval period (the township was in the parish of Manorbier by late medieval times). It is possible that a grange chapel was located here when the Bishop of St. David's held land in the area, but the first evidence that there was a chapel-of-ease to Manorbier is provided by Christopher Saxton's Map of Pembrokeshire, published in 1578. This map marks Jameston with a small chapel, indicating that there is likely to have been such a building in the village by that time. Within a few decades, the Elizabethan antiquarian George Owen of Henllys, recorded that an small fair dedicated to St. James was held annually at Jameston (Pritchard, 1906, folio 75).

This scant evidence means that the form and extent of the early settlement at Jameston have never been proven. The most enduring medieval elements in the local landscape are the remains of the co-axial field system, if it is indeed accepted that they are of medieval date.

Rarity: Not rare

**Distance from
development:** Unknown

Group Value: None

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Evidential Value:	Documentary sources only
Historical Value:	Discussed in historical sources and mentioned in medieval documents
Aesthetic Value:	None
Communal Value:	None
Setting:	The location and form of any medieval settlement at Jameston is unknown.
Significance:	Unknown
Any Direct Impact?:	Yes Unknown Unknown
Any Indirect Impact?:	Yes Unknown Unknown
Level of Impact on Setting:	Unknown
Comment on Impact:	The location and form of any medieval settlement at Jameston is unknown. It is not known whether the development would impact on unrecorded features associated with the medieval village of Jameston.

Appendix B: Site Photographs



Plate 5: GGJ2016_101, the house at Green Grove, GGJ2016_001, looking south from the A4139 road to the north. The railings have recently been reset on a low rebuilt wall.



Plate 6: GGJ2016_102, detail of the front door of Green Grove House, GGJ2016_001, looking south.



Plate 7: GGJ2016_103, detail of the railings along the front of the plot at Green Grove. These have been resited since 1989 on a new low wall and are recorded in the listing description as dating to 1900.



Plate 8: GGJ2016_104, detail on the northern wall of water tank building, GGJ2016_002, looking south southeast.



Plate 5: GGJ2016_105, the former stables, GGJ2016_003, is on the left handside of the photo, looking southeast.



Plate 6: GGJ2016_106, the remaining southern wall of a cowshed, GGJ2016_004, looking south. The plants are planted in the former feeding trough.



Plate 7: GGJ2016_107, the remaining southern wall of a cowshed, GGJ2016_004, looking southeast. The plants are planted in the former feeding trough.



Plate 8: GGJ2016_108, the building on the right hand side of the photograph is GGJ2016_006, now converted to a dwelling, looking southeast.



Plate 9: GGJ2016_109, the area which building GGJ2016_009 occupied, looking north northeast. The ground surface appears to have already been removed when the building was constructed.



Plate10: GGJ2016_110, Looking northwest from the area of former agricultural building GGJ2016_009, to the former milking parlour GGJ2016_008.



Plate 11: GGJ2016_111, looking south across the area of former agricultural building GGJ2016_009.



Plate 12: GGJ2016_112, earthwork bank, GGJ2016_011, looking south southeast.



Plate 13: GGJ2016_113, western wall of former walled garden, GGJ2016_013 on the right hand side of photograph, looking north.



Plate 14: GGJ2016_114, remains of former field boundary wall, GGJ2016_014, looking northwest.



Plate 15: GGJ2016_115, stone wall, GGJ2016_015, along roadside, looking west. It appears to have been rebuilt in later 20th century as a former gateway is not visible and concrete below part of wall.



Plate 16: GGJ2016_116, the wooden building, GGJ2016_017, looking southeast. It is believed to have been the office for the former holiday park, GGJ2016_016.

