



**King Street Buildings,  
Old College,  
Aberystwyth University**

**Historic Building  
Recording (Level 3)**

Prepared by:  
**The Environmental Dimension  
Partnership Ltd**

On behalf of:  
**Aberystwyth University**

November 2022

Report Reference  
**edp7672\_r004a**

## Document Control

### DOCUMENT INFORMATION

<b>Client</b>	Aberystwyth University
<b>Report Title</b>	Historic Building Recording (Level 3)
<b>Document Reference</b>	edp7672_r004a

### VERSION INFORMATION

	<b>Author</b>	<b>Formatted</b>	<b>Peer Review</b>	<b>Proofed by/Date</b>
004_ <b>DRAFT</b>	SDo	VSk/CRo	RSk	-
004a	SDo	-	-	NHa 211122

### DISCLAIMER TEXT

No part of this report may be copied or reproduced by any means without prior written permission from The Environmental Dimension Partnership Ltd. If you have received this report in error, please destroy all copies in your possession or control and notify The Environmental Dimension Partnership Ltd.

This report (including any enclosures and attachments) has been prepared for the exclusive use and benefit of the commissioning party and solely for the purpose for which it is provided. No other party may use, make use of or rely on the contents of the report.

We do not accept any liability if this report is used for an alternative purpose from which it is intended, nor to any third party in respect of this report.

Opinions and information provided in the report are those of The Environmental Dimension Partnership Ltd using due skill, care and diligence in the preparation of the same and no explicit warranty is provided to their accuracy. It should be noted, and it is expressly stated that no independent verification of any of the documents or information supplied to The Environmental Dimension Partnership Ltd has been made.

## Contents

Executive Summary .....	4
Section 1 Introduction .....	6
Section 2 Methodology .....	7
Section 3 Historic Building Record .....	10
Section 4 Conclusions .....	20
Section 5 References .....	21
Section 6 Images .....	22

## APPENDICES

- Appendix EDP 1 Photographic Record
- Appendix EDP 2 Photographic Locations
- Appendix EDP 3 Demolition Plans
- Appendix EDP 4 Historic Plans of Estates Offices

## PLANS

- Plan EDP 1: Location of the Stables, Old Cottage Extension, Estates Offices and the Cottage, King Street  
(edp7672\_d002a 03 October 2022 GYo/SDo)
- Plan EDP 2: Historical Map Regression Part 1 (1797–1887)  
(edp7672\_d010a 16 November 2022 DJo/SDo)
- Plan EDP 3: Historical Map Regression of King Street Buildings Part 2 (1905–2022)  
(edp7672\_d011a 16 November 2022 DJo/SDo)
- Plan EDP 4: Historic Phases and Location of King Street Buildings  
(edp7672\_d012c 16 November 2022 SWa/SDo)
- Plan EDP 5: King Street Building – Old College Extension, Estates Offices and Cottage – Internal Sections  
(edp7672\_d008a 16 November 2022 RBa/SDo)

## Executive Summary

- S1 This Historic Building Recording (HBR) has been prepared by The Environmental Dimension Partnership Ltd (EDP), on behalf of Aberystwyth University in support of the university's "Life for Old College Project".
- S2 It has been produced in accordance with a Written Scheme of Investigation agreed with Dyfed Archaeological Trust for Ceredigion County Council, to address a condition imposed on the planning permission (Application No. A190141) for the demolition of the King Street Buildings.
- S3 The proposals represent part of a larger redevelopment of Old College and the adjacent Marine Villas, no's 1 & 2 New Promenade, including the change of use into a hotel and the demolition and redevelopment of the buildings at King Street to the rear of Marine Villas.
- S4 The HBR comprises of a Level 3 record, as set out in Historic England's *Understanding Historic Buildings - A Guide to Good Recording Practice* (2016), as well as CiFA's *Standard and guidance for the archaeological investigation and recording of standing buildings or structures* (2020), of King Street Buildings, which comprise 19<sup>th</sup> - 20<sup>th</sup> century elements. This report encompasses a descriptive record of the architectural interest of these standing buildings, to document their heritage significance, and analysis of their historic phases prior to their demolition. It is anticipated that the completion of the HBR can secure the discharge of the suggested condition.
- S3 The buildings in question are along King Street, or behind it within a courtyard space. The buildings comprise (1) an early 19<sup>th</sup> century Cottage, (2) 1960s Estated Offices, (3) late 19<sup>th</sup> century Old College Extension and (4) the late 19<sup>th</sup> century Stables. These buildings have undergone extensive additions and alterations during their lifetime, much of this occurring in the 20<sup>th</sup> century, which possess little heritage value. The surviving 20<sup>th</sup> century structures which are due to be demolished were recorded as part of the survey.

### CRYNODEB

- S5 Mae'r Cofnod Adeilad Hanesyddol (HBR) yma wedi ei baratoi gan Environmental Dimension Partnership Ltd (EDP), ar ran Prifysgol Aberystwyth, ar gyfer 'Prosiect Bywyd Newydd i'r Hen Goleg'.
- S6 Fe baratowyd Cynllun Archwilio Ysgrifenedig (WSI), wedi ei dderbyn gan Ymddiriedolaeth Archeolegol Dyfed (DAT), ar ran Cyngor Sir Ceredigion, er mwyn diwallu amod cais cynllunio (Rhif: A190141), oherwydd y bwriad i ddinistrio adeiladau wrth gefn Stryd y Brenin.
- S6 Pwrpas y gwaith adeiladu oedd ail-ddatblygu'r Hen Goleg a Marine Villas 1 a 2, y Promenâd Newydd, yn cynnwys creu gwesty newydd a chwalu ac ail-ddatblygu dau adeilad ar Stryd y Brenin, wrth gefn Marine Villas.
- S7 Gweithredwyd Cofnod (HBR) lefel 3 fel y disgrifir yn *Understanding Historic Buildings - A Guide to Good Recording Practice* (2016), gan Historic England, a *Standard and guidance*



*for the archaeological investigation and recording of standing buildings or structures* (2020), gan y ClfA. Roedd nodweddion o'r 19eg ganrif a'r 20fed ganrif yn adeiladau Stryd y Brenin.

- S8 Mae'r adroddiad yma yn cynnwys disgrifiad o nodweddion pensaernïol yr adeiladau, fel bod cofnod o'u harwyddocâd hanesyddol ac unrhyw newidiadau adeiladol ar gael, cyn eu dymchwel. Y gobaith yw bydd y cofnod gorffenedig yma yn diwallu'r amod cais cynllunio priodol.
- S9 Mae'r adeiladau a archwiliwyd ar hyd Stryd y Brenin, neu mewn clos tu ôl i'r stryd ac yn cynnwys (1) Bwthyn o'r 19eg ganrif gynnar, (2) Swyddfeydd y stad o'r 1960au (3) Estyniad i'r Hen Goleg yn dyddio o'r 19eg ganrif hwyr a (4) Stablau o'r 19eg ganrif hwyr. Mae nifer o newidiadau wedi bod i'r adeiladau yma ar hyd y blynyddoedd, yn enwedig yn ystod yr 20fed ganrif. Fe gofnodwyd yr adeiladwaith o'r 20fed ganrif a oedd yn debygol o newid neu ddiflannu yn ystod y gwaith adeiladu newydd.

## Section 1 Introduction

- 1.1 This report has been prepared by The Environmental Dimension Partnership Ltd (EDP) on behalf of Aberystwyth University's "Life for Old College Project" and presents the results of an Historic Building Recording (HBR) prior to the demolition of The Stables, Old College Extension, Estates Offices & the Cottage, King Street, Old College, Aberystwyth University, grouped as "King Street Buildings" (hereafter referred to as 'the Site').
- 1.2 A Heritage Impact Assessment and Addendum for Marine Villas was undertaken previously by Austin-Smith:Lord for Lawray Architects, as part of an application for listed building consent in 2021 and 2022 (Planning reference A190141; Dyer 2021; 2022). These documents have provided the basis for the background information for this Historic Building Recording. Also relevant is an Historic Building Recording (HBR) of Old College, Aberystwyth, produced by EDP in June 2022 (edp7672\_r002).
- 1.3 The HBR has been produced according to a Written Scheme of Investigation (WSI: 2022; edp7672\_r003) agreed with Zoe Bevans-Rice of Dyfed Archaeological Trust (DAT) and Archaeology Advisor to Ceredigion County Council. This addresses Condition 5, imposed on the planning permission on the 01 August 2019 (Application No. A190141) for the Site.
- 1.4 The need for a Building Survey is set out in the comments of Ceredigion County Council's grant of planning permission (A190141). This identifies the following requirement:
- "5. No development of any kind shall commence until the applicant has secured the implementation for the buildings along King Street that are to be demolished in their entirety, of a Level 3 (Historic England Specification - Understanding Historic Buildings, 2016) archaeological study in accordance with an approved written scheme of investigation. A copy of the report shall be submitted to, and approved in writing by, the Local Planning Authority. The resulting document shall be deposited with the Historic Environment Record Officer, Dyfed Archaeological Trust, The Corner House, Llandeilo, Carmarthenshire, SA19 6AE. The applicant must immediately notify the Local Planning Authority and the Royal Commission on the Ancient and Historical Monuments of Wales if any significant discoveries are made during the repair, demolition or conversion works.*
- REASON: In order to afford the opportunity for the recording the historical/architectural interest of the buildings, in accordance with Technical Advice Note 24 The Historic Environment 2017 and Planning Policy Wales Edition 11 February 2021."*
- 1.5 Accordingly, through subsequent consultation with Zoe Bevans-Rice of DAT it was confirmed that a Level 3 survey would be requested for King Street Buildings.
- 1.6 The principal aim of the HBR is to provide an analytic record of the architectural interest of the standing buildings, commensurate to a Level 3 survey in accordance with Historic England (HE, 2016) guidance, prior to their demolition. It is anticipated that the completion of the HBR can secure the discharge of Condition 5.

## Section 2

### Methodology

- 2.1 This report has been produced in accordance with HE's *Understanding Historic Buildings: A Guide to good recording practice* (2016). This guidance provides a national standard for the completion of HBRs. All work has been undertaken in accordance with ClfA's *Standard and guidance for the archaeological investigation and recording of standing buildings or structures* (2020).
- 2.2 The purpose of the Level 3 Archaeological Building Recording is to provide an analytical record, and firstly will comprise an introductory description followed by a systematic account of the buildings' origins, development, and use. This will ensure that all archaeological and historical components of the affected buildings are fully investigated and recorded if they are to be disturbed as a result of activities associated with the development.
- 2.3 The examination of the buildings will provide an account of the evidence on which the analysis has been based, allowing the validity of the record to be re-examined in detail. It will also include all drawn and photographic records that may be required to illustrate the buildings' appearance and structure and to support an historical analysis.
- 2.4 Secondly, it will describe and record, by means of high-resolution digital photography and measured drawings, all of the key internal and external components of the affected buildings so that a permanent record survives prior to demolition.
- 2.5 This, therefore, represents an analytic record approximating to Level 3 as set out in the above guidance.
- 2.6 The HBR also draws on the Heritage Impact Assessment (Austin-Reed:Lord 2021), which was submitted along with the planning application. This details the known heritage interest and historical development of the Site and includes archaeological and historical information from documentary and cartographic sources.
- 2.7 As set out in **Section 1**, the HBR has been produced according to a WSI agreed with Zoe Bevans-Rice of Dyfed Archaeological Trust (as Archaeology Advisor to Ceredigion County Council), the scope of which is set out below.
- 2.8 Survey and photographic work for the creation of the HBR was undertaken between April and June 2022. A survey was undertaken of the external and internal areas of the King Street Buildings and the link bridge between it and the Marine Villas, focusing on the internal elements of the buildings that will be affected by the proposals. Plans from Lawray Architects and Andrew Scott Ltd were utilised to assist with the survey.
- 2.9 The Level 3 HBR comprises the following elements:

## **DRAWN RECORD**

- **Plan EDP 1:** A general site plan showing the location of the King Street Buildings and labelling the individual buildings within the complex;
- **Plan EDP 2:** Historical Map Regression of King Street Buildings 1797-1887;
- **Plan EDP 3:** Historical Map Regression of King Street Buildings 1905-2022;
- **Plan EDP 4:** Historical Phases of King Street Buildings;
- **Plan EDP 5:** Selected Section Drawings of Old College Extension, Estates Offices and the Cottage, King Street;
- **Appendix 1:** Details the photo locations as follows:
  - Tables identifying the **King Street Buildings**, also including location and direction of accompanying photographs, with annotations indicating features and details of layout as discussed in the text;
- **Appendix 2:** The Photographic Locations taken during the survey; and
- **Appendix 3:** Contains the demolition plans as supplied by LAWRAY architects, which served as the model for where the photographic records were to be undertaken; and
- **Appendix 4:** Which contains the historic plans of the construction of the Estates Offices, dating to the 1960s.

## **PHOTOGRAPHIC RECORD**

2.10 This was compiled using a Canon EOS 1300D SLR camera, recording at 18 megapixels, and saved in tiff image format for archiving purposes. In order to achieve the breadth of view required, an 18-55 mm zoom lens was used. The camera was metered using natural light where possible, although flash was required in some dimly lit spaces. The photographic record includes:

- General views of the buildings in their wider setting;
- Views illustrating the building's external appearance, including oblique views of all external elevations of the building and elevational views at (or as near as possible to) right angles to the plane of the elevation; and
- The overall appearance of the principal rooms and circulation areas to be affected by the proposals.

## **WRITTEN RECORD**

2.11 The written record includes:

- The buildings' precise location, as a National Grid reference and in address form;
- The date of the record and the name of the recorder;
- A summary of the buildings' type and purpose, historically and at present, its materials and possible date(s), in so far as these are apparent from a superficial inspection;
- Building on the above, a summary of the buildings' form, function, and sequence of development, as well as any discernible associations with architects, builders, patrons and owners;
- Copies of historic maps, drawings, views or photographs illustrating the development of the Site; and
- A brief outline of the significance of the buildings on the Site.

2.12 The site has been recorded using OS mapping, with measured plans of the building and complex, undertaken in 2020 and updated in 2022 by Lawray Architects, Andrew Scott Ltd and EDP, which were annotated and amended where appropriate.

2.13 As well as professional guidance, fieldwork required as part of the HBR was completed in accordance with current Health and Safety legislation.

## Section 3

### Historic Building Record

- 3.1 The site is located on King Street, Aberystwyth within the county of Ceredigion. It is centred on NGR 258114, 281736. The Site comprises a complex of buildings within the courtyard of 1 and 2 Marine Villas and to the east of Old College, Aberystwyth University. Marine Villas present as two Regency double fronted seaside villas on New Promenade, set back behind a narrow area with iron railings. The complex of buildings within the rear courtyard comprises four separate units: the Cottage, Estates Offices, the Old College Extension and The Stables. Their locations are indicated on **Plan EDP 1**.
- 3.2 The wider site contains Old College, which is a Grade I listed building (10251) and Marine Villas, which are listed at Grade II (10309 and 10310). Within the curtilage of Old College there are two further listed structures, the statue of Thomas Edwards, Grade II (10311) and the statue of Edward, Prince of Wales (10312). The King Street Buildings, Old College and Marine Villas are situated within the Aberystwyth Conservation Area.
- 3.3 Old College and Marine Villas have been already described in detail in a Heritage Impact Assessment and Addendum (Dyer, 2021 and 2022) and in a Historic Building Recording (EDP, 2022: edp7672\_r002). Therefore, just the elements pertinent to the King Street Buildings (including the courtyard and conservatory of Marine Villas) will be included here.
- 3.4 Marine Villas present as two Regency double fronted seaside villas on New Promenade, set back behind a narrow area with iron railings in a state of decay. Number 2 features a projecting timber porch and full height canted timber bay windows. Number 1 is devoid of bay windows but has a projecting stone porch with classical detailing and a cantilevered slate balcony with iron railings at the first floor.
- 3.5 To the rear of the courtyard of the Marine Villas, there are three separate buildings which face onto King Street, and one within the courtyard:
1. **The Cottage.** The northernmost building abutting the Cambria building fronts onto King Street. The Cottage presents as a rendered two-storey cottage with slate roof and rendered chimney. The roof of the cottage extends to ground floor at the rear facing the courtyard, with a projecting dormer that connects to an enclosed bridge link formed from reconfigured glazed sections taken from the outrigger of the rear of Marine Villa No. 1.
  2. **The Estates Offices.** This is the central building which links to the Cottage. It is two storeys with the principal slate roof running parallel to King Street. The building has a rear gabled section projecting into the courtyard.
  3. **The Old College Extension.** This is the southernmost building in the complex abutting Old College. It is single storey with a pitched slate roof running parallel with King Street. There is no door but three casement windows with segmental arched heads face onto the King Street side. It contains a doorway into Old College via the 'Ladies' Entrance' hallway. This is also referred to as 'King Street Rooms' (Dyer, 2022).

4. **The Stables.** This building abuts Marine Villa No. 1 and is a single storey rectangular building, within the courtyard rather than facing onto King Street.
- 3.6 The Site occupies a seaside location, with the highest ground in the south at approximately 30 metres above Ordnance Datum (aOD).
- 3.7 As identified in the precedent Heritage Impact Assessment Addendum (Dyer, 2022) the buildings are somewhat tricky to date as there is limited documentary evidence. The Marine Villas are likely the earliest in the area. They are of 18<sup>th</sup> century origin, with the other buildings constructed later. Whilst the HBR is primarily concerned with recording any fabric of historical interest, the buildings were recorded to Level 3 standard.
- 3.8 A further building recording of The Old College and Marine Villas has been included in a separate report, recorded to a Level 2 standard (EDP, 2022: edp7672\_r002).

## **HISTORICAL BACKGROUND**

- 3.9 The full historical background to the Site is provided in the Austin-Smith:Lord Heritage Impact Assessment and Addendum (Dyer, 2021 and 2022). A short summary is provided here of the general history of the Site (**Plans EDP 2** and **EDP 3**).

### **Marine Villas**

- 3.10 There is some confusion as to the date of construction on Marine Villas, which seem to have been constructed at some point between 1811 and 1824. In the plan of Aberystwyth, Cardigan, by John Wood, 1834 (NLW, MAP 5445) it suggests that just No. 1 Marine Terrace (later Marine Terrace) was extant at that date and perhaps that No. 2 came later. This plan shows that the site of No. 1 Marine Terrace was filled with a building which is square in plan, but that the site of No. 2 was only half filled with a smaller, rectangular building. However, a sketch '*North east view of Aberystwyth*', which is dated to 1815, shows a building on the site of No's 1 & 2 Marine Terrace but it is not certain whether it is more than a single structure, i.e. both houses had not been completed by this date (Dyer, 2021).
- 3.11 Conveyance records strengthen the argument that the Villas were in place by 1816 when they were known as Mount Pleasant, with No. 1 a private residence and No. 2 a lodging house (Dyer, 2021. Appendix E, page 66).
- 3.12 Of the outbuildings, there is little information available. While it is clear that the central block, known as the Estates Offices, is a later twentieth century infill (likely constructed in the 1960s), the Cottage and Old College Extension are harder to date.

### **Cottage**

- 3.13 There is little to no information on the Cottage. John Wood's Aberystwyth Town Plan of 1834 shows a building of similar scale and in approximately the same location as the Cottage. This indicates that it may be contemporary with the Marine Villas, however, due to inaccuracies, this is by no means definitive, but the building was in place in the 19<sup>th</sup> century.

- 3.14 Fireplaces in the Cottage are similar in detail to those in the Marine Villas, with a larger mantel in the front room and a smaller mantel to the rear room. Both contain arched register grates which date from 1860, suggesting that there were upgrades around that time.
- 3.15 The Cottage certainly predates the Old College fire of 1886 as indicated on the Aberystwyth Ordnance Survey Town Plan of 1887, which shows the Cottage without a bridge link to the Marine Villas.
- 3.16 The bridge link, with its internal vertical boarding, has similar details to alterations within the South Seddon wing of Old College, indicating it may date to the purchase of the Marine Villas by the University in 1919.

### **Estates Offices**

- 3.17 The 1887 map indicates that there was a series of small outbuildings, glass houses and outriggers from the Villas in the location of the Estates Offices, as part of the gardens of the villas rather than one single building. Later mapping indicates that the current Estates Offices was constructed in the 1960s.

### **Old College Extension**

- 3.18 The 1834 map shows that there was a rectangular building in the location of The Old College Extension by this date, together with a group of two other buildings along King Street to the south of Marine Villas, prior to the construction of Old College.
- 3.19 However, by the 1887 map, it appears that this previous building had been replaced by the Old College Extension, formed as today as an L shape abutting The Stables to the north and the Old College to the west. There was an additional small outbuilding to the north of the Old College Extension.

### **The Stables**

- 3.20 The 1887 map indicates that there was an access to the rear courtyard and The Stables of No. 1 Villa via King Street at this date.

## **KING STREET BUILDINGS DESCRIPTION**

- 3.21 An analysis of the external and internal fabric of the King Street Buildings has allowed for a general understanding of their basic phasing to be established (**Plan EDP 4**). For ease of reference, each building is discussed separately. A more detailed phasing of the Marine Villas has been established in Austin-Smith:Lord Heritage Impact Assessment Addendum (Dyer, 2022). The photographic archive is presented in **Appendix EDP 1**, and photographic locations in **Appendix EDP 2**.
- 3.22 The photographic record was undertaken to record those elements of the building which are due to be demolished as a result of the proposals, as outlined in Application No. A190141.



## Exterior Elevations

### *Marine Villas*

- 3.23 Marine Villas present as two Regency double fronted seaside villas on New Promenade, set back behind a narrow area with iron railings, in a state of decay (**Image EDP 6.1**). Number 2 features a projecting timber porch and full height canted timber bay windows. Number 1 is devoid of bay windows but has a projecting stone porch with classical detailing and a cantilevered slate balcony with iron railings at the first floor. Both properties are rendered in an imitation of rusticated stone at the ground floor beneath a flat horizontal architrave, with imitation ashlar above.
- 3.24 Victorian style gabled dormer windows have been added at roof level set behind the parapet; these vary in detail between the two properties. There are two dormers to Number 1 and a single offset dormer to number 2.
- 3.25 The rear elevation of both properties is utilitarian in nature (**Images EDP 6.2–6.3**), simply rendered with central outriggers. Number 2 has a glazed sunroom at first floor level with original timber casements with stained glass; this has been modified to accommodate a bridge link to the rear mews properties. Number 1 retains some original sash windows in their original configuration, number 2 has been modified due to the construction of the sunroom. The properties facing onto King Street are rendered but have been heavily altered with modern picture windows to the building behind Number 1.
- 3.26 To the rear of the Marine Villas, is a rectangular courtyard, formed from the construction of Old College Extension, The Estates Offices and The Stables. The Cottage is outside of the courtyard, to the north and has been described separately below.

### *King Street Buildings*

- 3.27 Along King Street, three of the buildings in question can be noted, which are located between Old College and The Cambria, and are dominated by these two flanking large buildings (**Images EDP 6.4–6.5**). These are the Cottage, Estates Offices and Old College Extension. The King Street elevation is finished with painted render, which tries to present the three buildings as a block, however each building unit has different roof heights, with the Cottage the highest, Estates Offices the middle, and Old College Extension having the lowest.

#### *Cottage*

- 3.28 The cottage comprises the northernmost building along King Street (**Images EDP 6.4–6.5**). It is two-storey with a pitched slate roof running parallel to King Street.
- 3.29 The Cottage consists of a modern glazed and planked door with a decorative exterior hood with a flat roof above it. The roof of the hood is supported by two decorative console brackets set on modelled Doric column pilasters.
- 3.30 The ground and first floor contain plain plate glass sash windows with horns.

- 3.31 The rear elevation of the Cottage presents as a mixture of stone rubble painted white. It contains a six-over-six paned sash window on the ground floor, which is likely original to the construction of the building (**Image EDP 6.6**).

*Estate Offices*

- 3.32 The Estates Offices comprise the central building along King Street (**Images EDP 6.4–5**). It is two-storey with a principal slate roof running parallel to King Street. It is formed of brick, which is rendered on the King Street elevation and painted white. It was constructed in the 1960s.
- 3.33 There is a vertical planked door with rectangular light above, a single hopper window and casement to ground floor, and a set of two casements on the first floor.
- 3.34 At the rear, the Estates Offices project nearly the full length of the central courtyard northwards towards the Marine Villas, with quite a narrow passage separating the two (**Images EDP 6.7–6.10**). The southern elevation features three sets of casement windows of two and three lights on the ground floor, and two sets of casements on the first floor. The glazing bars are metal, inserted as part of the 1960s construction of the Estates Offices (**Image EDP 6.10**).
- 3.35 The north-western elevation of the Estate Offices is a gable end, and an additional extension. It features a curved covered passageway that connects the courtyard to King Street (**Images EDP 6.6–6.9**). The ground floor features a bricked-up window and a single casement with hopper window above, and metal glazing bars (**Image EDP 6.7**). On the first floor, there are two sets of casements of three-lights and a further double casement.

*Old College Extension*

- 3.36 The south building abutting Old College is single storey with a pitched slate-finished roof and runs parallel with King Street (**Images EDP 6.4–6.5**). It is formed of brick and a mix of stone rubble on the ground floor. It is rendered on the King Street elevation and painted white. It forms an L-shape with a curved wall to the east which may be a remnant of wall for a carriageway leading to The Stables before the Estates Offices were constructed (**Images EDP 6.8–6.9**).
- 3.37 There is no door, but three casement windows with segmental arched heads on the King Street elevation. The central window comprises two four-light casements with central mullion. The flanking windows each contain a central four-light opening casement flanked by four-light fixed casements with timber mullions. There is a match boarded hatch at higher level (**Image EDP 6.4**).
- 3.38 At the rear, Old College Extension is formed of a mix of stone rubble, modern blockwork and brick infill on the upper floor, painted white (**Image EDP 6.11**).
- 3.39 The painted brick elevation has a modern inserted window opening and flush door. At the abutment with the central building, the elevation curves to give access to a covered walkway between the two, providing access from King Street to the courtyard via a doorway.

- 3.40 There are two window openings at high level with similar details to King Street beneath the eaves and a modern matchboard door with fanlight.

#### *The Stables*

- 3.41 The Stables is located within the north-western area of the courtyard and abuts Marine Villa No. 1. It does not have any roadside access (**Images EDP 6.12–6.13**). It was previously accessible from King Street in the 19<sup>th</sup> century (prior to the Estates Offices being constructed) via a curved passageway next to Old College. There is a projecting lean-to structure adjacent to Old College extending the full length of the courtyard to the Marine Villa, which contains part of The Old College Extension, and The Stables.

#### **Interiors**

- 3.42 For ease of understanding the descriptions of the King Street Buildings, the individual rooms have been labelled by the Architects as G1-8 and F1-10 (Cottage and Estate Buildings) as the two buildings are linked together; G10-13 (Old College Extension) and G14 The Stables.

#### **Marine Villas**

- 3.43 The Marine Villas interiors have been described in great detail already by Dyer (2022) and in the Historic Building Recording by EDP (edp7672\_r002), so will only be briefly described here.
- 3.44 The Marine Villas retain original domestic plan forms, namely a central hall running from the front entrance to cantilevered staircases at the back, flanked by front and rear rooms on each side. Later outriggers provide WC facilities. Both properties retain original fireplaces and late 19<sup>th</sup> century cornices, and doors to most rooms, with Number 2, in particular, retaining fine original cabinetry in recesses flanking its chimneybreasts.
- 3.45 Number 2 features a glazed conservatory at the first floor at half landing level. This has been modified to provide a bridge link to The Cottage at the rear of the Site, however original timber framed casements with stained glass are present, with modified panels used within the link.

#### **Cottage**

- 3.46 The Cottage was originally of a modest ‘two-up, two-down’ genre typical of Welsh cottages. It now does not retain much in the way of historic features apart from windows and fireplaces. At the ground floor, the Cottage has two reception rooms (G4 and G5) with an inserted glazed hall running front to back. The hall has been formed with a modern Georgian wired glass partition, the original layout being two rooms with connecting door (**Image EDP 6.14**). A modern ceiling of suspended grid tiles has been installed.
- 3.47 Room G5 retains its original shutters but the windows have been updated to plate glass (**Image EDP 6.16**).
- 3.48 The rear reception room G4 is accessed via a small vestibule dogleg from G5 (**Image EDP 6.7**). This small vestibule opens to the west to link into a hallway connecting the cottage to the Estates Offices. Historic maps suggest that this area was previously an open, informal lane.

- 3.49 Both rooms retain early fireplaces with register grates which date to 1860-1880 (Eveleigh, 2004, 8-10; **Images EDP 6.15** and **EDP 6.17**). These are likely not original to the property but were probably part of a refurbishment when the King Street elevation windows were upgraded to plate glass (**Image EDP 6.5**).
- 3.50 Rear reception room G4 contains a blocked-up doorway on the western wall (**Image EDP 6.18**) and access through to the Estates Offices by a dogleg hallway. On the northern wall is a window which retains an original six-over-six sash window (**Image EDP 6.19**). It features thin glazing bars, no horns and is likely original to the house (pre-1860 redevelopments of the fireplaces and front window).
- 3.51 The first floor of the cottage features almost no historic elements.
- 3.52 Reception room F5 retains no historic features apart from the post 1860 plate glass sash window and lathes are visible in the ceiling above the shelving where water has ingressed (**Image EDP 6.20**).
- 3.53 The rear room F4 is accessed from F5 via a small step. The ceiling slopes sharply to the north-west. The room contains a medium sized plate glass pane with hopper window above on the north-western wall. The room has been adapted mostly as an access route for the glazed link bridge into Marine Villas No. 2 (**Image EDP 6.21**).
- 3.54 The ceiling of F4 contains an attic space which shows the dressed stone internal gable end of the cottage (**Image EDP 6.22**).
- 3.55 As noted above, the cottage is now linked to the glazed conservatory F10 of Marine Villa No. 2 via a short flight of steps to a wooden bridge F9 (**Images EDP 6.23–6.24**). The bridge link is lined with tongue and groove panelling and a pitched glass roof. The conservatory is enclosed by floor to ceiling glazed timber screens, the floor above supported on decorative cast iron columns. There are some panes of stained glass remaining.

### **Estates Offices**

- 3.56 The Estates Offices have no front access via King Street and are only reachable via the passageway within the courtyard or from within the Cottage.
- 3.57 University of Wales records show that the Estates Offices were constructed in the 1960s, and therefore all of the fixtures and fittings date to this period or later.
- 3.58 At both ground and first floor levels of the Estates Offices, the interior comprises late 20<sup>th</sup> century functional spaces with no distinguishing features (**Images EDP 6.27–6.31**). All surfaces are flat plaster or painted brickwork, and doors are flush painted. Electrical services are surface mounted.
- 3.59 The ground floor comprises office spaces G1, G2 to the rear and G7 to the front, with a small storage room and plant rooms in G3, G6 and G8. There is a WC accessed under the stairwell.
- 3.60 The first floor is accessed via the stairwell which opens out into a landing to the east (**Image EDP 6.32**). Offices F1-7 lead off the landing to the north, east and south

(**Images EDP 6.33–6.37**). The stairwell also leads to a small kitchenette F8 to the west (**Image EDP 6.38**).

### ***Old College Extension***

- 3.61 The Old College Extension is accessible via a set of stairs from Old College ‘Ladies’ Entrance’ to the west, and via the courtyard. Like the Estates Offices, it is not directly accessible from King Street. The Old College Extension comprises a suite of five rooms in an L-shape (G9-13).
- 3.62 Each of the rooms have modern plastered surfaces throughout with modern flush doors. Floors are either carpet tile or vinyl. The windows in G9-11 and G13 all contain the same set of windows, which are formed in blocks of three with four-lights and a central hopper window (**Images EDP 6.40 and 6.42**).
- 3.63 Rooms G13 and G14 were previously part of The Stables but were re-fashioned into a toilet block when a stable door was blocked up and new breeze blocks were added.

### ***The Stables***

- 3.64 Although historic mapping would suggest that The Stables were in place in the 19<sup>th</sup> century, there are no historic features retained today. The Stables has a mixture of exposed blockwork on the eastern and southern wall and render (**Images EDP 6.43–6.44**). The roof is exposed to the underside of the attic floor and contains modern machine cut marks; therefore has been replaced in more recent times.

## **HISTORICAL PHASING**

- 3.65 The historical phases of the buildings are illustrated in **Plan EDP 4**.

### **Phase 1: 1811–1824**

- 3.66 The original cores of no’s 1 and 2 Marine Villas were constructed during this period as two houses known as ‘Mount Pleasant’ overlooking Aberystwyth Bay.

### **Phase 2: 1825–1835**

- 3.67 The Cottage was constructed during this phase.

### **Phase 3: 1840–1900**

- 3.68 During this phase, No. 2 Marine Villas has a porch and bay windows added to its front elevation. To the rear of both properties, narrow outriggers are constructed for the provision of toilets.
- 3.69 The Cottage interiors were updated, as its fireplaces contain register grates which date between 1860-1880. The sash windows have no glazing bars on the King Street side, but the courtyard side does have a six-over-six sash, demonstrating that there were updates to the more public street fronting side, but not the private areas.

- 3.70 The Estates Offices site is clearly shown on the Aberystwyth Ordnance Survey Town Plan of 1887 as containing a number of structures flanking the boundary between the two villas, with open passages between them and the adjacent Old College Extension and Cottage. The 19<sup>th</sup> century structures were demolished in the 1960s to construct the Estates Offices.
- 3.71 There were a series of small outbuildings, glass houses and outriggers from the Villas in the location of the Estates Offices, as part of the gardens of the villas rather than one single building. There was also an access to the rear courtyard (and The Stables) of No. 1 Marine Villas via King Street at this date.

#### **Phase 4: 1900–1960**

- 3.72 In 1919, the Marine Villas were purchased by Aberystwyth University to become the departments of Geography, International Politics in No. 1, and Music in No. 2.
- 3.73 A variety of internal alterations including new internal stairwells, toilets, and a link between the Cottage and No. 2 Marine Villa was constructed.

#### **Phase 5: 1960–Present**

- 3.74 Records from Aberystwyth University show that the Estates Offices were constructed in the 1960s following the demolition of a bungalow for the Head Porter in the 1950s (UCW Council Minutes, Dyer, 2021, Appendix D). It was constructed to provide accommodation for the buildings officer and rooms for academic staff at the cost of £2,000.
- 3.75 A variety of updates occurred in the King Street Buildings, including a new toilet block within Old College Extension, new windows, new roof for The Stables and internal partitions within the Cottage.

#### **PHOTOGRAPHIC RECORD**

- 3.76 The photographic record, which includes the images referenced above, is presented at **Appendix EDP 1**. This includes an inventory of the 159 images reproduced as part of the record, as well as the images themselves, in numbered order. **Appendix EDP 3** contains the plans for the suite of buildings, with the areas to be altered highlighted in red (Lawray Architects).
- 3.77 The photographic record focused principally on those areas of the interior of the buildings which are scheduled to be removed, altered, or otherwise affected by the proposals. These have already been outlined in detail in the Austin-Smith:Lord Impact Assessment (Dyer 2021; 63-147) so will not be reproduced here. It is designed to serve as a record of those elements due to be removed.
- 3.78 Generally speaking, the elements to be removed are mostly deemed to be of low significance and are largely 20<sup>th</sup> century inserts and amendments (apart from the cottage which is 19<sup>th</sup> century), which will assist in understanding (and returning to) the original plan form of the buildings.
- 3.79 The photographic record is as follows:

### **Courtyard**

- Exterior areas of Courtyard: **Table EDP A1.1: Photo EDP C1–4, C9–26, C30–39;**
- Passageway between Old College Extension and Estates Offices **Table EDP A1.1: Photos EDP C34–9.**

### **Interior**

- The Stables Interior: **Table EDP A1.1: Photos EDP C5–8;**
- Marine Villas No. 2 Interior: **Table EDP A1.1: Photos EDP C27–29;**
  - Conservatory **Table EDP A1.1: Photos EDP C136–147;**
- Estates Offices Interior: **Table EDP A1.1:**
  - Ground floor **Photos EDP C40–66;** and
  - First Floor **Photos EDP C85–117**
- Cottage Interior: **Table EDP A1.1:**
  - Ground floor **Photos EDP C67–84;** and
  - First Floor **Photos EDP C118–135.**
- Old College Extension Interior **Table EDP A1.1:**
  - Ground floor Photos EDP **C148–157.**

### **Exterior**

3.80 **Table EDP A1.2**, which comprises:

- Exterior of King Street: **Photos EDP C158–159.**

## Section 4

### Conclusions

- 4.1 This Historic Building Recording (HBR) has been prepared by EDP for Aberystwyth University's "Life for Old College Project" at the request of Asbri Planning Ltd. It has been produced in accordance with a Written Scheme of Investigation agreed with Zoe Bevans-Rice of Dyfed Archaeological Trust, Archaeological Planning Advisor for Ceredigion Council, in addressing the suggested condition (Condition 5) imposed on the planning permission (Application No. A190141) prior to the demolition of The Stables, Old College Extension, Estates Offices & the Cottage, King Street, Old College, Aberystwyth University, grouped as "King Street Buildings", Aberystwyth, Ceredigion.
- 4.2 The HBR provides a descriptive and analytical record of the limited architectural interest of King Street Buildings, which comprises 19<sup>th</sup>–20<sup>th</sup> century elements. This report encompasses a descriptive record of the architectural interest of these standing buildings, which documents their heritage significance, and an analysis of their historic phases prior to their demolition. It is anticipated that the completion of the HBR can secure the discharge of the suggested condition.
- 4.3 The buildings in question are along King Street, or behind it within a courtyard space. The buildings comprise (1) an early 19<sup>th</sup> century Cottage, (2) 1960s Estates Offices, (3) late 19<sup>th</sup> century Old College Extension and (4) The late 19<sup>th</sup> century Stables. These buildings have undergone extensive additions and alterations during the course of their lifetime, much of this occurring in the 20<sup>th</sup> century which have little heritage value. The surviving 20<sup>th</sup> century structures which are due to be demolished were recorded as part of the survey.
- 4.4 It was deemed appropriate for the HBR to comprise primarily a photographic and written record, with a drawn record and historical phasing. This, therefore, represents an analytical record approximating to Level 3, as set out in Historic England's guidance, *Understanding Historic Buildings: A Guide to good recording practice* (2016). The HBR also draws on a Heritage Impact Assessment (Austin-Reed:Lord, Dyer, 2021 and 2022), which was submitted along with the planning application. This details the known heritage interest and historical development of the Site and includes archaeological and historical information from documentary and cartographic sources.



## Section 5 References

Cadw, 2021. University College of Wales Old College Building. Full Report for Listed Buildings. Accessed online January 2022.

<https://cadwpublic-api.azurewebsites.net/reports/listedbuilding/FullReport?lang=&id=10251>.

Dyer, M. 2021. Old College, Aberystwyth. Heritage Impact Assessment. Austin-Smith:Lord Report.

Dyer, M. 2022. Old College Aberystwyth Heritage Impact Assessment Addendum – Marine Villas 21 March 2022. Austin-Smith: Lord Report. Rev 5.

EDP 2022 Old College Historic Building Recording. June 2022 (edp7672\_r002)

EDP, 2022 *The Stables, Old College Extension, Estates Offices & the Cottage King Street. Written Scheme of Investigation for an Archaeological Building Recording (L3)*. June 2022 (edp7672\_r003).

Eveleigh, D. J 2004. *Firegrates and Kitchen Ranges*. Shire Album 99. Shire Publications Ltd.

### GUIDANCE

Cadw, 2011, Conservation Principles for the Sustainable Management of the Historic Environment in Wales.

Cadw, 2017(a), Heritage Impact Assessment in Wales.

Cadw, 2017(b), The Setting of Historic Assets in Wales.

ClfA, 2020, *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures*.

Historic England, 2016. *Understanding Historic Buildings - A Guide to Good Recording Practice*.

HMSO, 1990, *Planning (Listed Buildings and Conservation Areas) Act 1990*.

Welsh Government 2018, *Planning Policy Wales*, Edition Ten. Cardiff.

Welsh Government 2017, *Technical Advice Note 24 (TAN 24)*. The Historic Environment.

## Section 6

### Images



**Image EDP 6.1:** The exterior of Marine Villas from New Promenade, in a state of some decay.



**Image EDP 6.2:** The rear entrance of Marine Villa No.1 within the courtyard. To the left is The Stables.





**Image EDP 6.3:** The rear outrigger of Marine Villa No. 2 and short wall. To right of image is the Estates Offices



**Image EDP 6.4:** The King Street elevation is finished with painted render, which tries to present the three buildings as a block, however each building unit has different roof heights, with the Old College Extension having the lowest, Estates Offices the middle, and the Cottage, the highest.





**Image EDP 6.5:** Along King Street, three of the buildings can be noted, which are located between Old College (to left) and The Cambria (to right). The King Street Buildings are dominated by these two large buildings.



**Image EDP 6.6:** Just seen is the rear elevation of the Cottage, formed of a mixture of stone rubble. The rear ground floor contains an original six-over-six sash, which was not updated when the front windows were converted to plate glass in the late 19<sup>th</sup> century.





**Image EDP 6.7:** The ground floor of the Estates Offices features a bricked-up window and a single casement with hopper window above, and metal glazing bars. To the right of the image is the dogleg access route from the courtyard towards the Estates Offices main entrance and King Street.





**Image EDP 6.8:** The north-western elevation of the Estates Offices and open passage from the courtyard towards King Street.



**Image EDP 6.9:** The curved passageway between the Old College Extension (right) and Estates Offices access (left), with panelled door leading to King Street.



**Image EDP 6.10:** The southern elevation of the Estates Offices features a narrow passage between it and Marine Villas. It contains three sets of modern casement windows of two- and three-lights on the ground floor, and two sets of casements on the first floor.





**Image EDP 6.11:** The rear elevation of Old College Extension, which opens out into the courtyard. The Stables are to the right, Estates Offices to the left via a roofed passageway.



**Image EDP 6.12:** The Stables once contained two doorways (one now blocked up) and extended the full length of the courtyard. Now used as toilets as part of The Old College Extension.





**Image EDP 6.13:** The Stables abuts No. 1 Marine Villas.



**Image EDP 6.14:** The front entrance of the Cottage which now has glass partitions to create a hallway. The ceiling has suspended grid tiles installed.





**Image EDP 6.15:** The post 1860 register grate in the Cottage in G5.



**Image EDP 6.16:** The original early 19<sup>th</sup> century shutters in room G5.



**Image EDP 6.17:** The post 1860 register grate in room G4.



**Image EDP 6.18:** The western wall of room G4 in the cottage, which features a blocked-up doorway (right) and a modern doorway from which the Estates Offices is accessible via a dogleg.





**Image EDP 6.19:** The original (pre-1860) sash window with thin glazing bars and no horns.



**Image EDP 6.20:** Reception room F5 retains no historic features apart from the post 1860 plate glass sash window.



**Image EDP 6.21:** The rear room of F5 has been adapted mostly as an access route for the glazed link bridge into Marine Villas No. 2.



**Image EDP 6.22:** The ceiling of F4 contains an attic space which shows the dressed stone internal gable end of the cottage.





**Image EDP 6.23:** The short flight of steps from F4 into the bridge F9.



**Image EDP 6.24:** The ceiling of bridge F9.



**Image EDP 6.25:** The doorway from Marine Villa No. 2 into conservatory F10.



**Image EDP 6.26:** Interior of conservatory F10 looking west towards the outrigger of Villa No. 1.





**Image EDP 6.27:** The stairwell and hallway within The Estates Offices, which leads towards rooms G1 and G2, to the right is the narrow corridor that leads to the cottage.



**Image EDP 6.28:** The large windows within room G7 of the Estates Offices.



**Image EDP 6.29:** The interior of rear room G1 of the Estates Offices.



**Image EDP 6.30:** The interior of rear office G2.



**Image EDP 6.31:** The small WC on the ground floor behind the stairs.



**Image EDP 6.32:** The first floor landing of the Estates Offices.





**Image EDP 6.33:** Interior of office F1 with bookcases.



**Image EDP 6.34:** Interior of office F2 which overlooks the conservatory of Marine Villa No. 2.



**Image EDP 6.35:** The interior of F3 which leads into the Cottage F5.



**Image EDP 6.36:** Interior of office F6.



**Image EDP 6.37:** Cupboards within office F7.



**Image EDP 6.38:** Kitchenette F8.





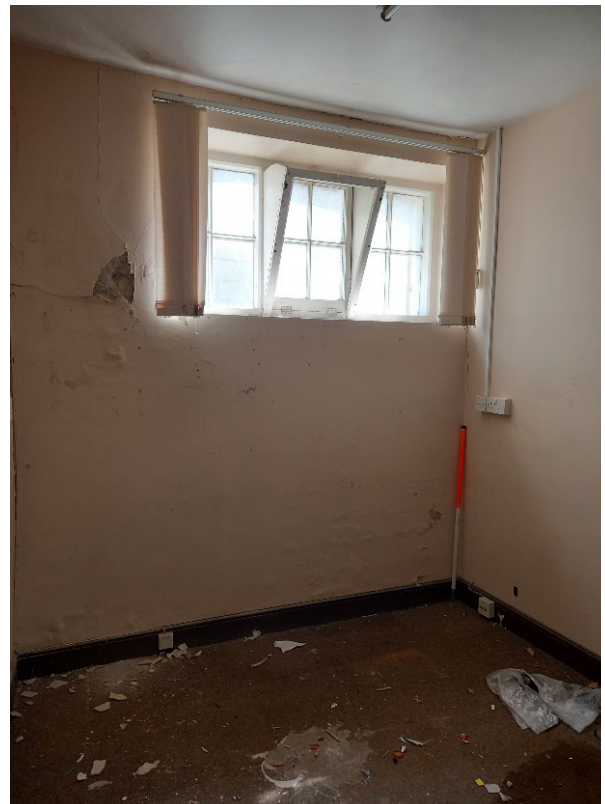
**Image EDP 6.39:** The interior of G9 towards G12 and G13.



**Image EDP 6.40:** The windows within G13 (previously part of The Stables).



**Image EDP 6.41:** The corridor between G9-11 looking east.



**Image EDP 6.42:** The windows in G11.



**Image EDP 6.43:** The interior of The Stables looking north-west, note the modern breeze blocks to the right.



**Image EDP 6.44:** The interior of The Stables looking south-east. The roof has been replaced.

## **Appendix EDP 1**

### **Photographic Record**

A1.1 **Tables EDP A1.1** and **A1.2** provide an inventory of images captured as part of the photographic record. The images are reproduced in order.



**Table EDP 1.1:** Photo Locations within King Street/Villa Courtyard







Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
<b>Courtyard</b>			
Photo EDP C1 (IMG_2930)	Western wall of courtyard	SW	
Photo EDP C2 (IMG_2931)	Western wall of courtyard	W	
Photo EDP C3 (IMG_2934)	Western wall of courtyard	W	
Photo EDP C4 (IMG_2935)	Western wall of courtyard	NW	
Photo EDP C5 (IMG_2936)	Northern wall of stables	N	
Photo EDP C6 (IMG_2937)	Southern wall of stables	S	








Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C7 (IMG_2938)	North-eastern corner of stables	NE	
Photo EDP C8 (IMG_2940)	Western wall of stables	W	
Photo EDP C9 (IMG_2941)	Southern wall of courtyard	S	
Photo EDP C10 (IMG_2942)	Western end of northern wall of courtyard and rear of Villas	N	
Photo EDP C11 (IMG_2943)	Eastern end of courtyard	E	
Photo EDP C12 (IMG_2944)	Eastern end of courtyard	E	
Photo EDP C13 (IMG_2945)	Door in eastern end of northern wall of courtyard of Marine Villa	N	










Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C14 (IMG_2946)	North-western corner of courtyard	NW	
Photo EDP C15 (IMG_2947)	Above door in eastern end of northern wall of courtyard, looking up to first floor level	E	
Photo EDP C16 (IMG_2948)	North-eastern end of courtyard	NE	
Photo EDP C17 (IMG_2949)	North-eastern end of courtyard	SW	
Photo EDP C18 (IMG_2953)	North-eastern end of courtyard	SW	
Photo EDP C19 (IMG_2950)	Eastern end of courtyard looking up to first floor level	E	
Photo EDP C20 (IMG_2952)	Looking up to first floor level above stairs on northern wall of courtyard	N	




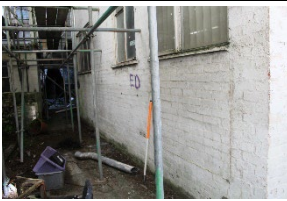


Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C21 (IMG_2954)	Southern wall of courtyard (outside wall of Estates Office)	S	
Photo EDP C22 (IMG_2955)	Southern wall of courtyard (outside wall of Estates Office)	SE	
Photo EDP C23 (IMG_2956)	Eastern wall of courtyard (outside wall of Estates Office)	SE	
Photo EDP C24 (IMG_2957)	Eastern wall of courtyard (outside wall of Estates Office)	SE	
Photo EDP C25 (IMG_2958)	Eastern wall of courtyard (outside wall of Estates Office)	SE	
Photo EDP C26 (IMG_2959)	Southern wall of courtyard (outside wall of extension to Old College)	S	

Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C27 (IMG_2960)	Inside Villa 2 room 2.08	E	
Photo EDP C28 (IMG_2962)	Inside Villa 2 room 2.09 looking towards 2.08	S	
Photo EDP C29 (IMG_2963)	South-west corner of room 2.06, within Villa 2	SW	
Photo EDP C30 (IMG_2964)	Eastern wall of courtyard (outside wall of Estates Office)	E	
Photo EDP C31 (IMG_2965)	Eastern wall of courtyard (outside wall of Estates Office)	E	
Photo EDP C32 (IMG_2966)	Eastern wall of courtyard (outside wall of Estates Office)	NE	
Photo EDP C33 (IMG_2967)	Northern wall (outside wall of Villa 1) and eastern wall of courtyard (outside wall of Estates Office)	NE	


Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C34 (IMG_2968)	Southern passageway within courtyard	S	
Photo EDP C35 (IMG_2969)	Southern passageway within courtyard	NE	
Photo EDP C36 (IMG_2971)	Entrance to southern passageway within courtyard	SE	
Photo EDP C37 (IMG_2973)	Southern passageway within courtyard	NE	
Photo EDP C38 (IMG_2974)	Southern passageway within courtyard	NE	






Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C39 (IMG_2975)	Ceiling of southern passageway within courtyard	N	
<b>Estates Office Ground Floor</b>			
Photo EDP C40 (IMG_2976)	Stairs within main hall of Estates Office	N	
Photo EDP C41 (IMG_2977)	Southern wall of G8	S	
Photo EDP C42 (IMG_2978)	North-eastern corner of G8	NE	
Photo EDP C43 (IMG_2979)	Northern wall of G8	N	









Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C44 (IMG_2980)	Eastern wall of main hall	E	
Photo EDP C45 (IMG_2981)	Looking towards northern wall of main hall	N	
Photo EDP C46 (IMG_2982)	Northern section of hall, looking west towards male W.C.	W	
Photo EDP C47 (IMG_2983)	Main hall	S	
Photo EDP C48 (IMG_2984)	Southern wall of G7	S	
Photo EDP C49 (IMG_2985)	Western wall of G7	NW	








Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C50 (IMG_2986)	Northern wall of G7	NE	
Photo EDP C51 (IMG_2987)	Eastern wall of G7	SE	
Photo EDP C52 (IMG_2988)	Looking into male W.C.	W	
Photo EDP C53 (IMG_2989)	North-western corner of G1	NW	
Photo EDP C54 (IMG_2990)	Western wall of G1	W	
Photo EDP C55 (IMG_2991)	Southern wall of G1	SW	
Photo EDP C56 (IMG_2992)	Eastern wall of G1	E	









Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C57 (IMG_2993)	Northern section of main hall, looking east	E	
Photo EDP C58 (IMG_2994)	Northern wall of G2	N	
Photo EDP C59 (IMG_2995)	South-western corner of G2	SW	
Photo EDP C60 (IMG_2996)	Eastern wall of G2	E	
Photo EDP C61 (IMG_2997)	North-eastern corner of G2	NE	
Photo EDP C62 (IMG_2998)	Looking from G6 towards door into G3	N	






Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C63 (IMG_2999)	Eastern wall of G3	NE	
Photo EDP C64 (IMG_3000)	Velux window in G3		
Photo EDP C65 (IMG_3001)	South-western corner of G3	SW	
Photo EDP C66 (IMG_3002)	Southern wall of G6	S	
Interior of the Cottage			
Photo EDP C67 (IMG_3003)	Eastern section of main hall	N	






Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C68 (IMG_3005)	Eastern section of main hall	NW	
Photo EDP C69 (IMG_3006)	Eastern section of main hall	N	
Photo EDP C70 (IMG_3007)	Eastern section of main hall	NE	
Photo EDP C71 (IMG_3004)	Eastern section of main hall	S	
Photo EDP C72 (IMG_3008)	Floor within eastern section of main hall		








Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C73 (IMG_3009)	North-eastern corner of G5	NE	
Photo EDP C74 (IMG_3010)	Fireplace in G5	E	
Photo EDP C75 (IMG_3011)	Southern wall of G5	S	
Photo EDP C76 (IMG_3012)	Northern wall of G5	N	
Photo EDP C77 (IMG_3013)	Eastern wall of G4	E	
Photo EDP C78 (IMG_3014)	Western wall of G4	W	
Photo EDP C79 (IMG_3016)	Blocked glazed door in western wall of G4	W	










Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C80 (IMG_3017)	Blocked glazed door in western wall of G4	W	
Photo EDP C81 (IMG_3018)	Blocked glazed door in western wall of G4	W	
Photo EDP C82 (IMG_3019)	Blocked glazed door in western wall of G4	W	
Photo EDP C83 (IMG_3021)	Northern wall of G4	N	
Photo EDP C84 (IMG_3022)	Southern wall of G4	S	
<b>Estates Office First Floor</b>			
Photo EDP C85 (IMG_3023)	First floor landing	W	
Photo EDP C86 (IMG_3024)	Southern wall of F8	S	






Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C87 (IMG_3025)	Western wall of F8	W	
Photo EDP C88 (IMG_3026)	Northern wall of F8	N	
Photo EDP C89 (IMG_3027)	Stairs to ground floor	S	
Photo EDP C90 (IMG_3028)	Landing	E	
Photo EDP C91 (IMG_3029)	Western wall of landing	W	


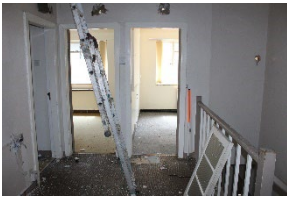

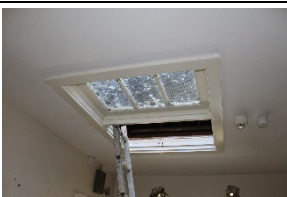

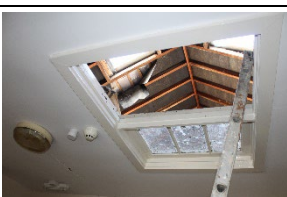

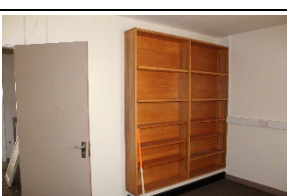
Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C92 (IMG_3030)	Northern wall of landing	N	
Photo EDP C93 (IMG_3031)	Southern wall of landing	S	
Photo EDP C94 (IMG_3032)	Western wall of landing	W	
Photo EDP C95 (IMG_3033)	Ceiling of landing		
Photo EDP C96 (IMG_3034)	Loft entrance in ceiling of landing		
Photo EDP C97 (IMG_3050)	Loft entrance in ceiling of landing		
Photo EDP C98 (IMG_3036)	Northern wall of F1	NE	
Photo EDP C99 (IMG_3038)9	South-western corner of F1	SW	






Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C100 (IMG_3039)	Western wall of F1	W	
Photo EDP C101 (IMG_3040)	Eastern wall of F1	E	
Photo EDP C102 (IMG_3041)	View out of window in F2	N	
Photo EDP C103 (IMG_3042)	North-eastern corner of F2	NE	
Photo EDP C104 (IMG_3043)	Eastern wall of F2	E	
Photo EDP C105 (IMG_3044)	Southern wall of F2	S	
Photo EDP C106 (IMG_3045)	Western wall of F2	W	
Photo EDP C107 (IMG_3046)	Southern wall of F7	S	





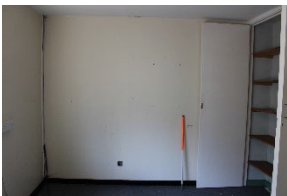

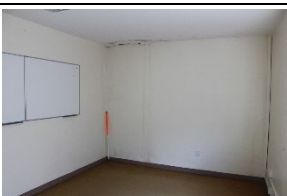
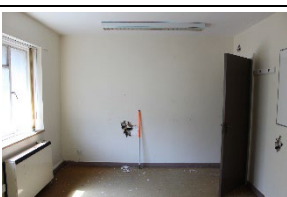


Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C108 (IMG_3047)	North-western corner of F7	NW	
Photo EDP C109 (IMG_3048)	Eastern wall of F7	E	
Photo EDP C110 (IMG_3049)	Western wall of F7	W	
Photo EDP C111 (IMG_3051)	Southern wall of F6	S	
Photo EDP C112 (IMG_3052)	North-eastern corner of F6	NE	
Photo EDP C113 (IMG_3053)	Western wall of F6	W	
Photo EDP C114 (IMG_3054)	Northern wall of F6	NE	
Photo EDP C115 (IMG_3055)	South-western corner of F3	SW	




Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C116 (IMG_3056)	South-eastern corner of F3	SE	
Photo EDP C117 (IMG_3057)	Western wall of F3	W	
First Floor of Cottage			
Photo EDP C118 (IMG_3059)	South-eastern corner of F5	SE	
Photo EDP C119 (IMG_3058)	Lather and plaster ceiling in F5	W	
Photo EDP C120 (IMG_3060)	Western wall of F5	W	
Photo EDP C121 (IMG_3061)	Northern wall of F5	N	
Photo EDP C122 (IMG_3062)	Western end of F4	W	
Photo EDP C123 (IMG_3063)	Ceiling hatch in F4		




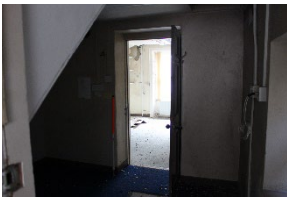

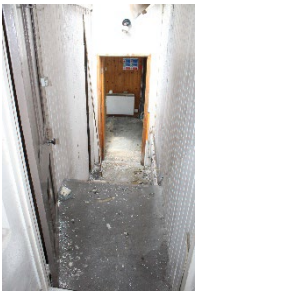
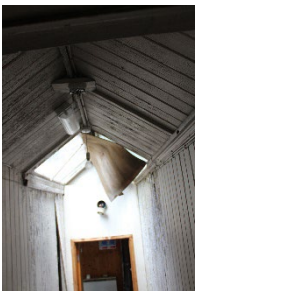
Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C124 (IMG_3064)	Ceiling hatch in F4		
Photo EDP C125 (IMG_3065)	Eastern end of F4	E	
Photo EDP C126 (IMG_3066)	Door furniture on southern door within F4		
Photo EDP C127 (IMG_3067)	Looking from F4 into F5	S	
Photo EDP C128 (IMG_3068)	Door furniture on northern door within F4		
Photo EDP C129 (IMG_3069)	Link corridor	N	
Photo EDP C130 (IMG_3070)	Link corridor	N	







Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C131 (IMG_3071)	Link corridor	N	
Photo EDP C132 (IMG_3072)	Link corridor	S	
Photo EDP C133 (IMG_3073)	Ceiling within link corridor		
Photo EDP C134 (IMG_3074)	Link corridor	S	
Photo EDP C135 (IMG_3075)	Link corridor		
Photo EDP C136 (IMG_3076)	Eastern wall of room 2.15 in Villa 1	E	









Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C137 (IMG_3077)	Southern wall of room 2.15 in Villa 1	S	
Photo EDP C138 (IMG_3078)	South-western corner of room 2.15 in Villa 1	SW	
Photo EDP C139 (IMG_3079)	Southern wall of room 2.15 in Villa 1		
Photo EDP C140 (IMG_3080)	Western wall of room 2.15 in Villa 1	W	
Photo EDP C141 (IMG_3081)	Western wall of room 2.15 in Villa 1	W	
Photo EDP C142 (IMG_3083)	South-western corner of room 2.15 in Villa 1	SW	





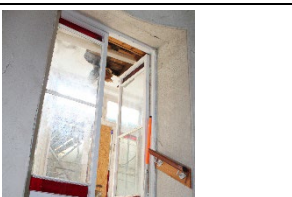

Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C143 (IMG_3085)	Ceiling of room 2.15 in Villa 1	W	
Photo EDP C144 (IMG_3086)	Southern wall of room 2.15 in Villa 1	S	
Photo EDP C145 (IMG_3087)	Eastern wall of room 2.15 in Villa 1	E	
Photo EDP C146 (IMG_3088)	Northern wall of room 2.15 in Villa 1	N	
Photo EDP C147 (IMG_3090)	Doorway from room 2.11 in Villa 1 into 2.15	S	
Photo EDP C148 (IMG 20220421_131255)	Steps from Old College into G9	E	

Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C149 (IMG 20220421_131610)	Window within G9	SE	
Photo EDP C150 (IMG 20220421_131415)	Doorways in G9 towards G12 and G14	NW	
Photo EDP C151 (IMG 20220421_131432)	WC in G12	NE	
Photo EDP C152 (IMG 20220421_131454)	Tiles and windows of remains of WC in G13	NE	





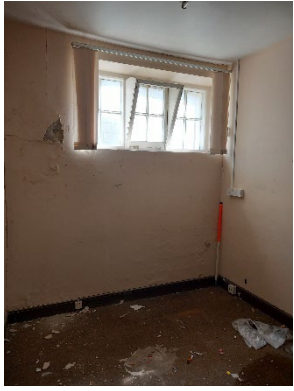
Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C153 (IMG 20220421_131558)	Interior of G10 with windows towards King Street	SE	 A photograph showing the interior of a room, likely G10. The room has light-colored walls and a dark floor. There is a window with vertical blinds on the right wall. The floor is covered with debris, including cardboard boxes and plastic bags.
Photo EDP C154 (IMG 20220421_131618)	The exit door towards the courtyard	NW	 A photograph of a dark-colored door set within a white frame. The door is slightly ajar, revealing a dark area outside. The floor is dark and appears to be made of wood or a similar material.
Photo EDP C155 (IMG 20220421_131630)	The corridor from G9 looking towards G10 and G11	NE	 A photograph of a narrow corridor with light-colored walls and a dark floor. The corridor leads to a brighter area at the end, where a blue bag is visible on the floor. The walls are slightly worn and there are some electrical outlets visible.
Photo EDP C156 (IMG 20220421_131649)	Small window in G9	E	 A photograph of a small window with a wooden frame. The window is looking out onto a building with a glass facade. The interior of the room is dark, and the window is the main source of light.



Photo Ref (Original Photo ID)	Description	Direction Facing	Photo
Photo EDP C157 (IMG_20220421_131706)	Interior view of G11	SE	

**Table EDP 1.2:** External Photos

Photo Ref (Original Photo ID)	Photo	Photo Ref (Original Photo ID)	Photo
Photo EDP C158 (IMG_3092)		Photo EDP C159 (IMG_3093)	

## **Appendix EDP 2**

### **Photographic Locations**

A2.1 The photographic locations taken during the survey.



Construction (Design and Management) Regulations

Design risk assessments are carried out throughout the design stage of this project in accordance with company procedures and manuals. Where reasonably possible all areas of risk applicable to design and end use of the construction have been identified and then eliminated, mitigated or recorded as a residual risk. Note that general risks of which a competent designer or contractor should be aware are not included. This drawing is to be read in conjunction with the Pre-construction Information and all related documents prepared in accordance with the current Construction (Design and Management) Regulations 2015 and all applicable Health and Safety legislation as currently amended.

**Disclaimer:** The information contained within this drawing is based on survey information provided by the client appointed Surveyor - SURVEYBASE and a measured survey of the existing Estates Offices and Cottage by the client appointed Contractor - Andrew Scott. **Lawray Architects** cannot guarantee the accuracy of the survey information. All levels have been interpolated from the 2D and 3D information supplied.

The Main Contractor shall verify all levels prior to any works. The Main Contractor must inform the Design Team of any discrepancies between their level checks and the Design Proposals immediately.

P01	Issued as building record   JM   LMH   LMH	16/06/2022
P00	Issued as scope for Independent Level Survey   LMH	28/05/2021
REV	DESCRIPTION   DRAWN BY   CHECKED BY   APPROVED BY	DATE
RIBA PLAN OF WORK 2013 WORKSTAGE	LEVEL OF MODEL DEFINITION (LoD)	
Stage 4 - Technical Design	LoD 300 - Precise Model	
PURPOSE OF ISSUE - SUITABLE FOR ...	BS1192 STATUS	
Information	Status S2 - Information	



CARDIFF 029 2052 8140  
 LONDON 0207 138 3560  
 WREXHAM 01978 357 887  
 www.lawray.co.uk

CLIENT  
 Aberystwyth University

PROJECT  
 New Life for Old College

DRAWING  
 Existing First Floor Plan - Villas & Estates Offices

PROJECT	1266	SCALE @ A3	1:100
DRAWING	OC-LAW-4-U01-DFP-AR-061541	REVISION	P01
DO NOT SCALE	Any discrepancy or query concerning this drawing should be referred to the Architect		
	Copyright © LAWRAY LIMITED		
	Registered Office: Greenmeadow Springs, 1 Cae Gwydd, Tongwynlais, CARDIFF CF15 7AB		
	Reg. Co. No. 2724178, VAT Reg. No. 134 2146 05		

Print Date: 16/06/2022 16:54:54

File Name: BIM 360://1266\_OldCollege/OC-LAW-000-000-3RV-AR-000001\_MainBuilding\_LAW.rvt





#### Construction (Design and Management) Regulations

Design risk assessments are carried out throughout the design stage of this project in accordance with company procedures and manuals. Where reasonably possible all areas of risk applicable to design and end use of the construction have been identified and then eliminated, mitigated or recorded as a residual risk. Note that general risks of which a competent designer or contractor should be aware are not included. This drawing is to be read in conjunction with the Pre-construction Information and all related documents prepared in accordance with the current Construction (Design and Management) Regulations 2015 and all applicable Health and Safety legislation as currently amended.

**Disclaimer:** The information contained within this drawing is based on survey information provided by the client appointed Surveyor - SURVEYBASE and a measured survey of the existing Estates Offices and Cottage by the client appointed Contractor - Andrew Scott. Lawray Architects cannot guarantee the accuracy of the survey information. All levels have been interpolated from the 2D and 3D information supplied.

The Main Contractor shall verify all levels prior to any works. The Main Contractor must inform the Design Team of any discrepancies between their level checks and the Design Proposals immediately.

P01	Issued as building record   JM   LMH   LMH	16/08/2022
P00	Issued as scope for Independent Level Survey   LMH	28/05/2021
REV	DESCRIPTION   DRAWN BY   CHECKED BY   APPROVED BY   DATE	
RIBA PLAN OF WORK 2013 WORKSTAGE	LEVEL OF MODEL DEFINITION (LoD)	
Stage 4 - Technical Design	LoD 300 - Precise Model	
PURPOSE OF ISSUE - SUITABLE FOR ...	BS1192 STATUS	
Information	Status S2 - Information	



lawray architects  
penseiri

CARDIFF 029 2052 8140  
LONDON 0207 138 3560  
WREXHAM 01978 357 887  
www.lawray.co.uk

CLIENT  
Aberystwyth University

PROJECT  
New Life for Old College

DRAWING  
Existing Ground Floor Plan - Villas & Estates  
Office

PROJECT	SCALE @ A3
1266	1:100
DRAWING	PROJECT - ORIGINATOR - VOLUME - LEVEL - TYPE - ROLE - CLASS NUMBER
(BS1192:2007 +2:2016)	REVISION
OC-LAW-4-G00-DFP-AR-061540	P01

DO NOT SCALE Any discrepancy or query concerning this drawing should be referred to the Architect.  
Copyright © LAWRAY LIMITED  
Registered Office: Greenmeadow Springs, 1 Cae Gwynedd, Tongwynlais, CARDIFF CF15 7AB  
Reg. Co. No. 2724178, VAT Reg. No. 1342146 06

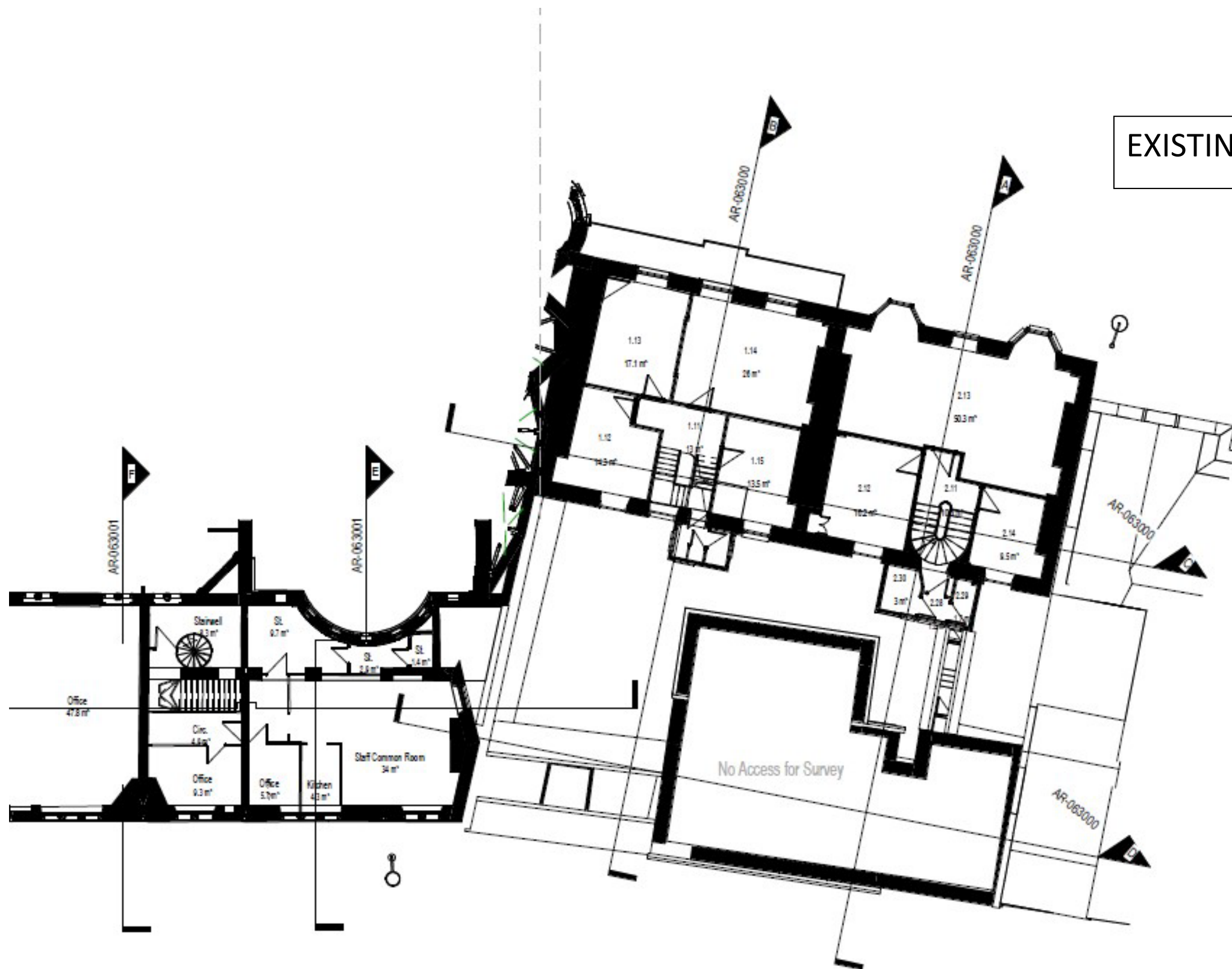


## **Appendix EDP 3**

### **Demolition Plans**

- A3.1 These plans were supplied by Lawray architects and highlight in red the elements of the buildings which are proposed to be demolished or altered.

EXISTING MEZZANINE VILLAS





## Existing to be retained

 Existing to be removed / demolished

Existing door to be removed / assessor

- For all structural elements, refer to Mann William's appraisal report and associated drawing packages.

- Note: Contractor / Specialist to review Fire performance of existing door within retained openings to ensure they achieve fire strategy requirements. Additional Replacement doors / upgrades may be necessary



berystwyth University

PROJECT TITLE  
New Life for Old College

DRAWING TITLE  
Basement Demolition Plan - Villas & Atrium

Any discrepancy or query concerning this drawing should be referred to the Architect.  
Copyright © LAMMAY LIMITED  
Registered Office: Greenmeadow Springs, 1 Cae Gwynedd, Tongwynlais, CARDIFF CF15 1AB  
Reg. Co. No. 272417E, VAT Reg. No. 134 2145 98



**Legend :**

Existing to be retained

 Existing to be removed / demolished

Existing door to be removed / assessed

Demolition Notes:

- For all structural elements, refer to Mann's Materials' approval report for associated drawings.
- Roofs:** Refer to Mann's Materials' approval report for Hiram's L&P's approval report and associated drawing packages.
- For all connection elements, refer to AISC's SMR and L&P's Construction Management Manual (CMM) and associated drawing packages.
- Design:** Design of all structural elements shall be in accordance with the following: (1) design shall be based on the design loadings disclosed on the approved by the drawings; (2) prior to commencing work, the following shall be satisfied:
- **Reinforcement:** installation instructions / drawings for building rebar to be removed and / or protected during construction; refer to Engineer's drawing for removal of existing reinforcement.
  - **Connections:** all connections shall be in accordance with the drawings and connections are to be built out prior to pouring of any cast in place concrete.
  - **Welds:** when welds are removed the contractor is to make for making good floor, columns, concrete, existing walls, vertical connections and horizontal connections.
  - **Concrete:** the contractor is to allow for the remaining and pouring good concrete to be placed.
- The contractor is to allow for the remaining good of existing substrates following removal of existing cast in place concrete.
- Construction:** Construction is to be approved by Design Team and approved by Construction Office's Codes as follows:
- **Cost and bid:** contractor materials/ items shall be submitted to the Construction Office for approval and approval of the Construction Office and other materials/ items shall be referred to the Construction Office for approval.
  - **Demolition:** plans are to be made in conjunction with demolition elements and are sections where demolition is required.
  - **Construction:** Construction is to be approved by Design Team and approved by Construction Office's Codes as follows:
- Refer to architectural drawings and prior to pouring of concrete, the following shall be satisfied:
- **Reinforcement:** installation instructions / drawings for building rebar to be removed and / or protected during construction; refer to Engineer's drawing for removal of existing reinforcement.
  - **Connections:** all connections shall be in accordance with the drawings and connections are to be built out prior to pouring of any cast in place concrete.
  - **Welds:** when welds are removed the contractor is to make for making good floor, columns, concrete, existing walls, vertical connections and horizontal connections.
  - **Concrete:** the contractor is to allow for the remaining and pouring good concrete to be placed.

Note: Contractor / Specialist to review Fire performance of existing door within retained openings to ensure they achieve fire strategy requirements. Additional Replacement doors / upgrades may be necessary.

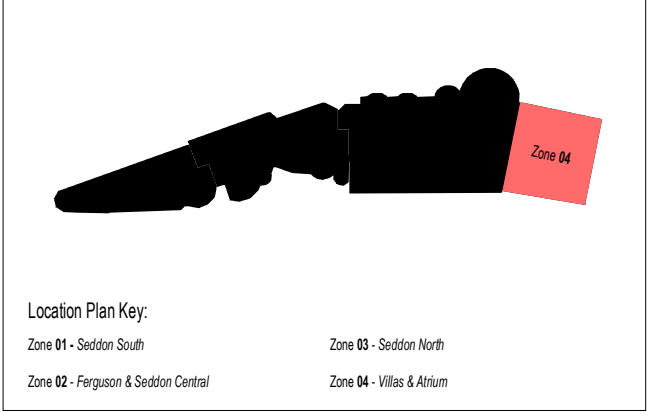


Construction Design and Management Regulations

Design risk assessments are carried out throughout the design stage of the project in accordance with company procedures and remain the responsibility of the design team. The design team shall ensure that the design is in accordance with the Construction Design and Management Regulations 2015 and all applicable health and safety legislation as currently amended.

**Disclaimer:** The information contained within this drawing is based on survey information provided by the client approved by the client. Lawray Architects cannot guarantee the accuracy of the survey information. All work has been inspected for the purpose of the design and the design team shall ensure that the design is in accordance with the Construction Design and Management Regulations 2015 and all applicable health and safety legislation as currently amended.

The client/contractor shall verify all levels prior to any works. The Main Contractor must inform the Design Team of any discrepancies between their level books and the Design Proposals immediately.



#### Legend:

- Existing to be retained
- Existing to be removed / demolished
- Existing door to be removed / assessed

#### Demolition Notes:

- For all structural elements, refer to Mann William's appraisal report and associated drawing packages.
- For all mechanical and electrical elements, refer to Hore Lee's appraisal report and associated drawing packages.
- For all conservation elements, refer to Austin Smith Lord Conservation Architects' Heritage Impact Assessment report (HIA), Conservation Management Plan (CMP) and associated drawing packages.
- The Contractor shall notify the Design Team of all discrepancies discovered on site compared to the drawings, prior to commencing works.
- Refer to MAC demolition information / drawings for all building services to be removed and / or protected during demolition / refurbishment.
- Refer to Engineer's drawings for removal of existing drainage.
- Where Windows, etc., are removed and drainage becomes redundant, connections are to be flushed out prior to capping off at slab level and making good ground floor screed.
- Where walls are removed the contractor is to allow for making good floor screeds, underside of existing soffits, wall connections and making sure the building envelope is water tight.
- The contractor is to allow for the removal and making good loose or damaged plaster.
- The contractor is to allow for the making good of existing substrates following removal of existing finishes.
- All making good methods to be agreed with Design Team and approved by Conservation Officer & Cadw as necessary.
- The cost plan and contractor method statements should include allowance of existing elements and for the safe removal of materials containing asbestos and other materials harmful to health. Refer to asbestos surveys for locations and recommendations as required.
- Demolition plans are to be read in conjunction with demolition elevations and sections where provided.
- Refer to Austin Smith Lord FF&E drawings and schedules for all existing fixtures, fittings and furniture to be removed / retained.
- Refer to architectural ceiling plans and floor scoping drawings for the extent of existing ceilings and floors being retained.

**Note:** Contractor / Specialist to review Fire performance of existing doors within retained openings to ensure they achieve fire strategy requirements. Additional Replacement doors / upgrades may be necessary.

P03 Updated for LSC (J.M. L.M.H. L.M.H.) 23/02/2022  
P02 Issued for Building Control Approval (J.M. L.M.H. L.M.H.) 25/11/2021  
T01 Updated for Tender (J.M. L.M.H. L.M.H.) 16/02/2021  
P01 Issued for LSC (J.M. L.M.H. L.M.H.) 28/04/2021  
T00 Issued for Tender (J.M. L.M.H. L.M.H.) 31/03/2021  
P00 Issued for Contract (J.M. L.M.H. L.M.H.) 12/03/2021

REV DESCRIPTION | DRAWN BY | CHECKED BY | APPROVED BY | DATE  
RBA PLAN OF WORK 2013 WORKSTAGE LEVEL OF MODEL DEFINITION (LAD)  
Stage 4 - Technical Design LAD 30 - Pre-construction

PURPOSE OF ISSUE: SUITABLE FOR: BS1182 STATUS  
LSC - Listed Building Consent Status 02 - Information



CARDIFF 029 2052 8140  
LONDON 0207 138 3560  
WREXHAM 01978 357 887  
www.lawray.co.uk

CLIENT  
Aberystwyth University

PROJECT TITLE  
New Life for Old College

DRAWING TITLE  
First Floor Demolition Plan - Villas & Atrium

PROJECT No: 1266 SCALE @ A0: 1:50  
DRAWING No: PROJECT: ORIGINATOR: VERSION: LEVEL: TYPE: R002: L000000000: REVISION: 000000000  
OC-LAW-4-U01-DM-AR-041514 P03

DO NOT SCALE Any discrepancy or query concerning this drawing should be referred to the Architect. Copyright © LAWRAY ARCHITECTS LIMITED  
Registered Office: Overmoor Farm, 10 Oak Court, Overmoor, Gwent, NP23 5JH. Reg. Co. No. 2241716. VAT No. 154 746 891.





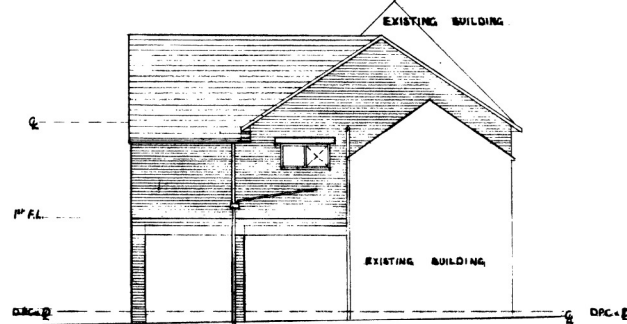
## **Appendix EDP 4**

### **Historic Plans of Estates Offices**

A4.1 These plans date to the 1960s for the University of Wales and include:

- Ground and First floor plans (UCW\_B3 and 3A);
- Section Drawings (UCW\_B4);
- Re-routing of soil drain (UCW FPlan1); and
- New toilets detail (UCW FPlan2).

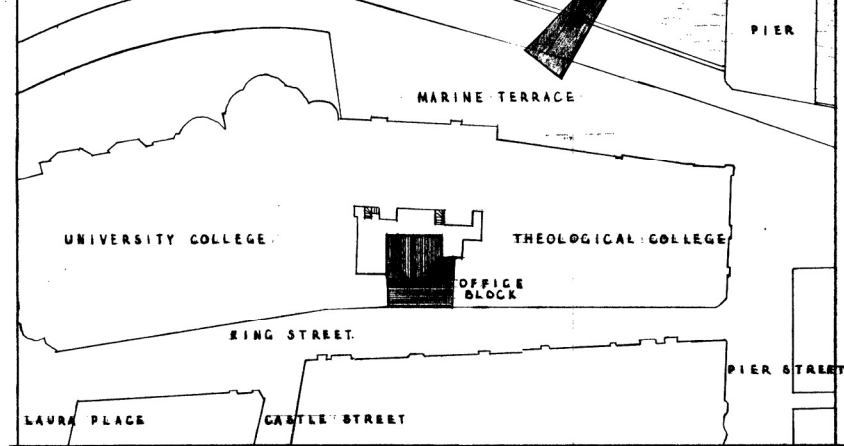




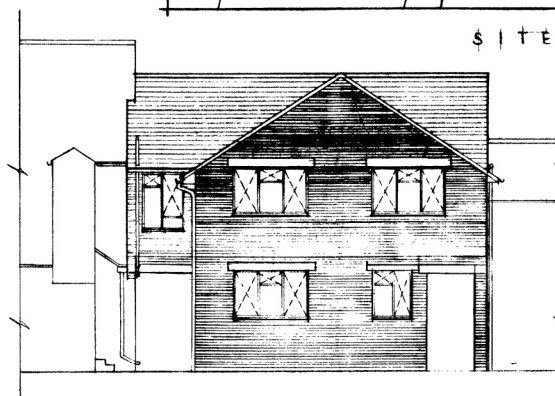
SOUTH WEST ELEVATION



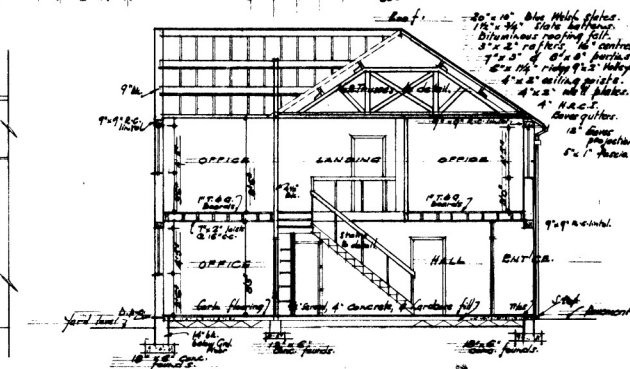
SOUTH EAST ELEVATION



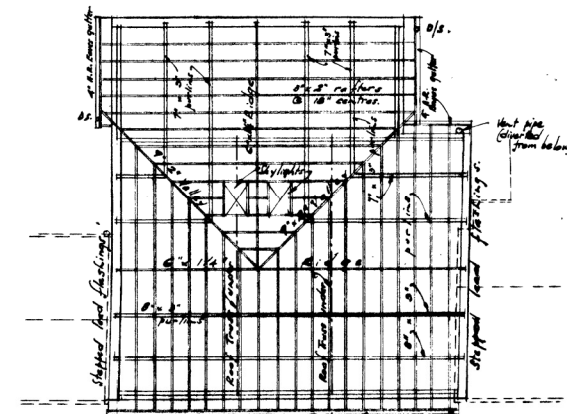
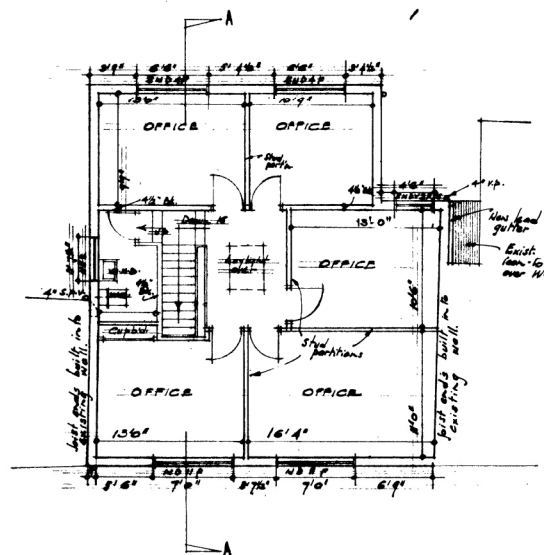
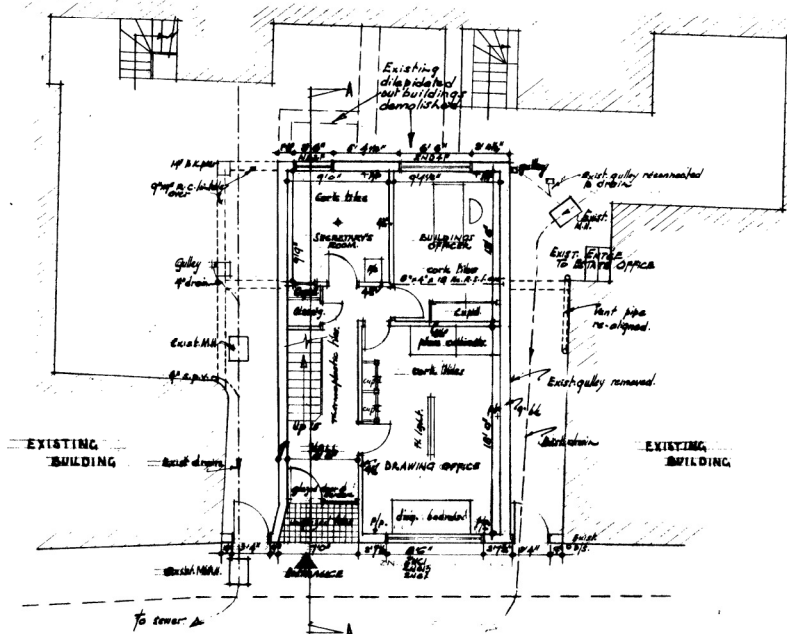
SITE PLAN SCALE 1/100



NORTH WEST ELEVATION



SECTION A-A





SECTION

Scale: 1" to 1'

**ELEVATION**

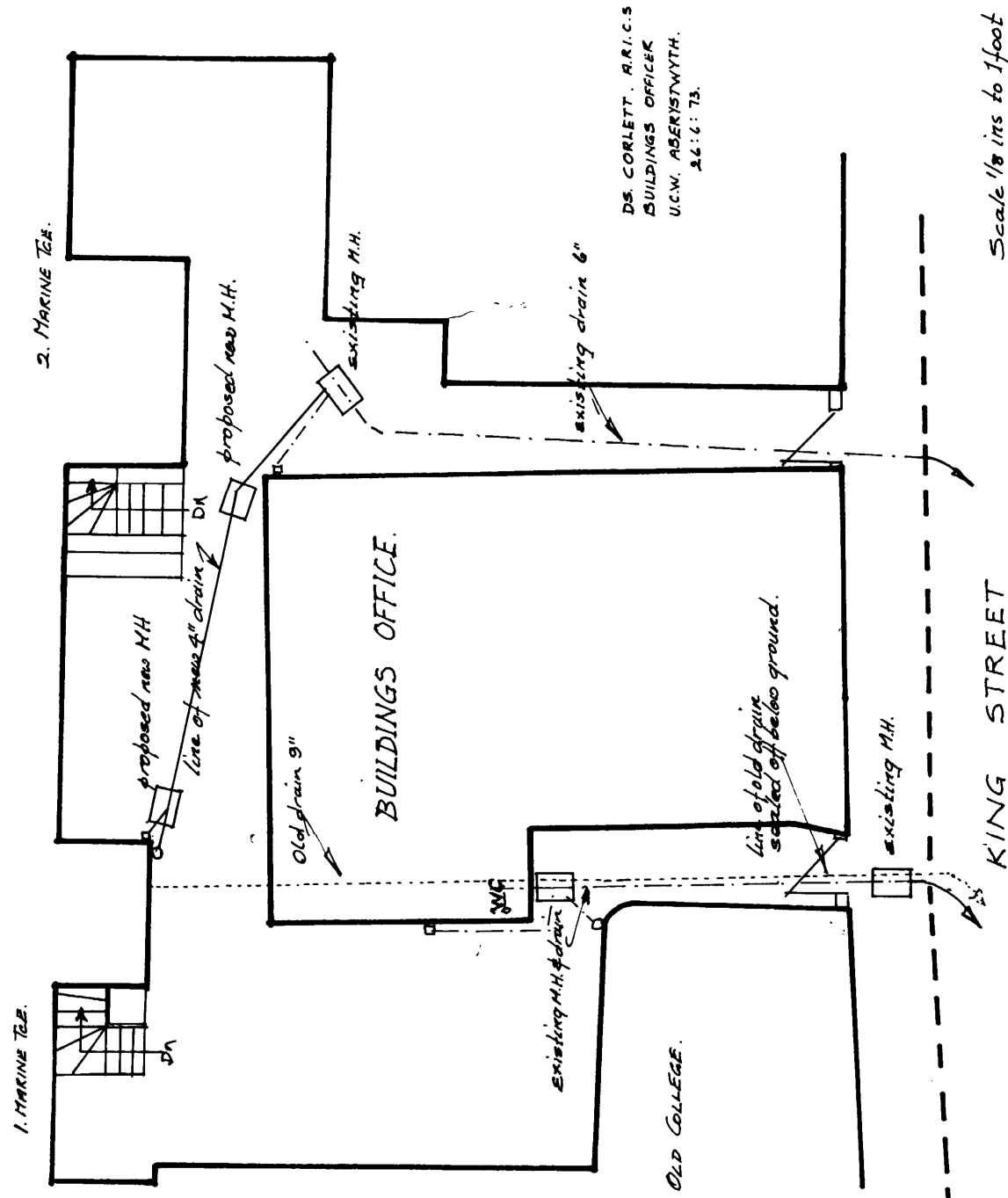
C U P B O A R D  
D E T A I L

S E C T I O N                      A - A

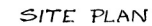
T R U S S                      D E T A I L

D O O R D E T A I L

# PROPOSED RE-ROUTING OF 4" SOIL DRAIN FOR U.C.W. ABERYSTWYTH.



scale 1/2 inch to 1 foot



Scale 1/500.



Office.

## Plans

**Plan EDP 1:** Location of the Stables, Old Cottage Extension, Estates Offices and the Cottage, King Street

(edp7672\_d002a 03 October 2022 GYo/SDo)

**Plan EDP 2:** Historical Map Regression Part 1 (1797–1887)

(edp7672\_d010a 16 November 2022 DJo/SDo)

**Plan EDP 3:** Historical Map Regression of King Street Buildings Part 2 (1905–2022)

(edp7672\_d011a 16 November 2022 DJo/SDo)

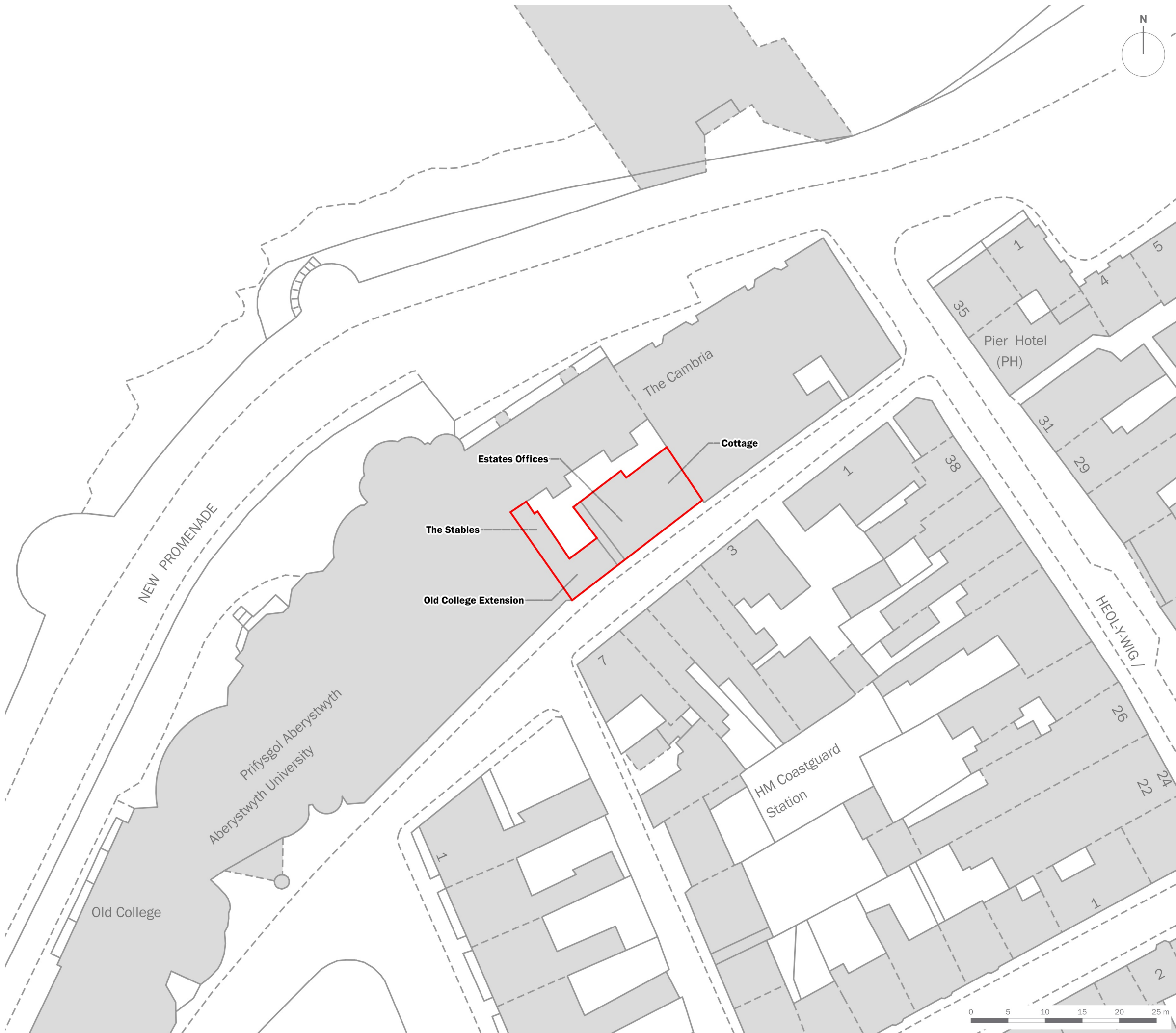
**Plan EDP 4:** Historic Phases and Location of King Street Buildings

(edp7672\_d012c 16 November 2022 SWa/SDo)

**Plan EDP 5:** King Street Building – Old College Extension, Estates Offices and Cottage – Internal Sections

(edp7672\_d008a 16 November 2022 RBa/SDo)





Site Boundary

client

**Aberystwyth University**

project title

**King Street Buildings, Old College,  
Aberystwyth**

drawing title

**Location of The Stables, Old College Extension,  
Estate Offices & the Cottage, King Street**

date

**03 OCTOBER 2022**

drawn by **GYo**

drawing number

**edp7672\_d002a**

checked **SDo**

scale

**1:500 @ A3**

QA **RBa**



the environmental  
dimension partnership

Registered office: 01285 740427 - [www.edp-uk.co.uk](http://www.edp-uk.co.uk) - [info@edp-uk.co.uk](mailto:info@edp-uk.co.uk)

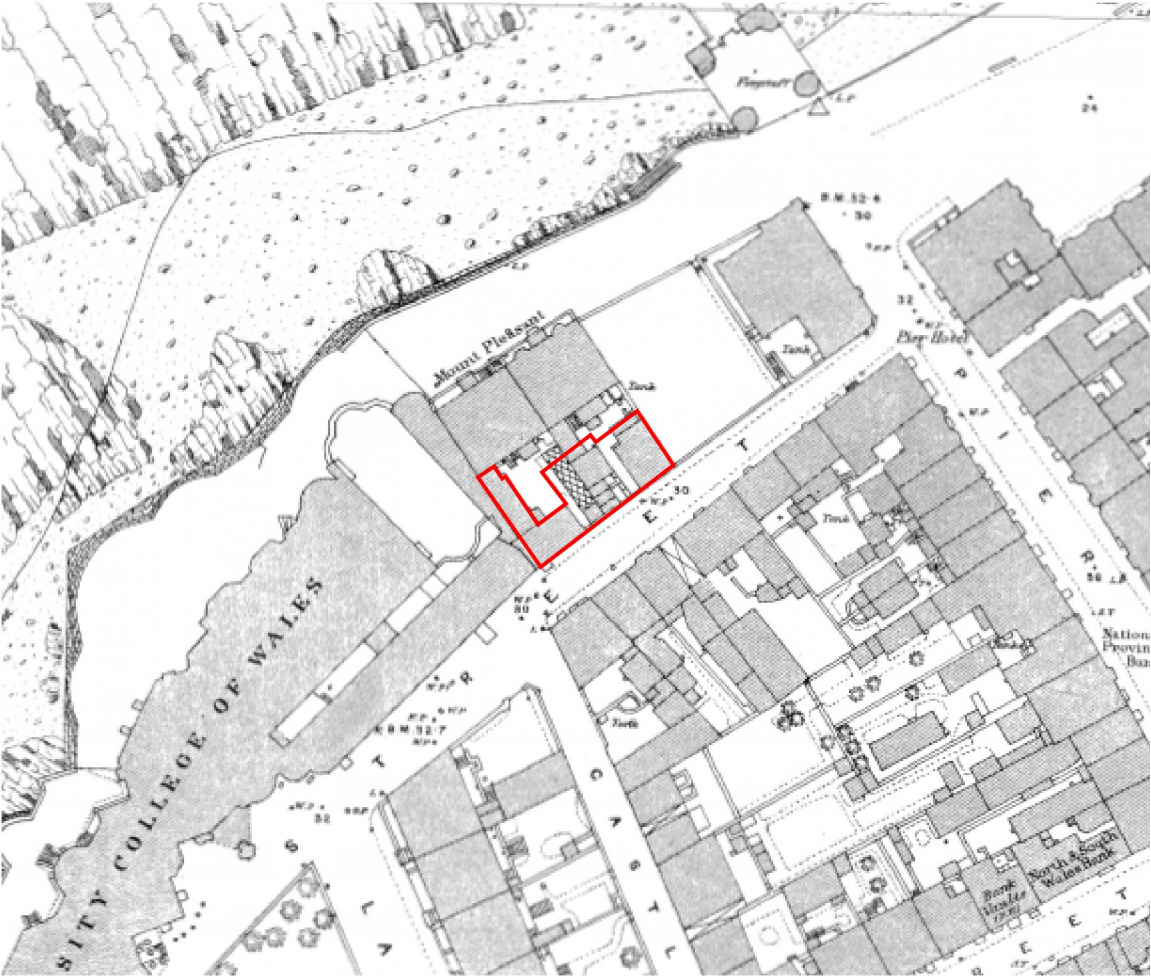




"A map of the Borough of Aberystwith..." c1797



"Plan of Aberystwyth, Cardigan" 1834



1887 Ordnance Survey Map (1:500)

Approximate Site Boundary

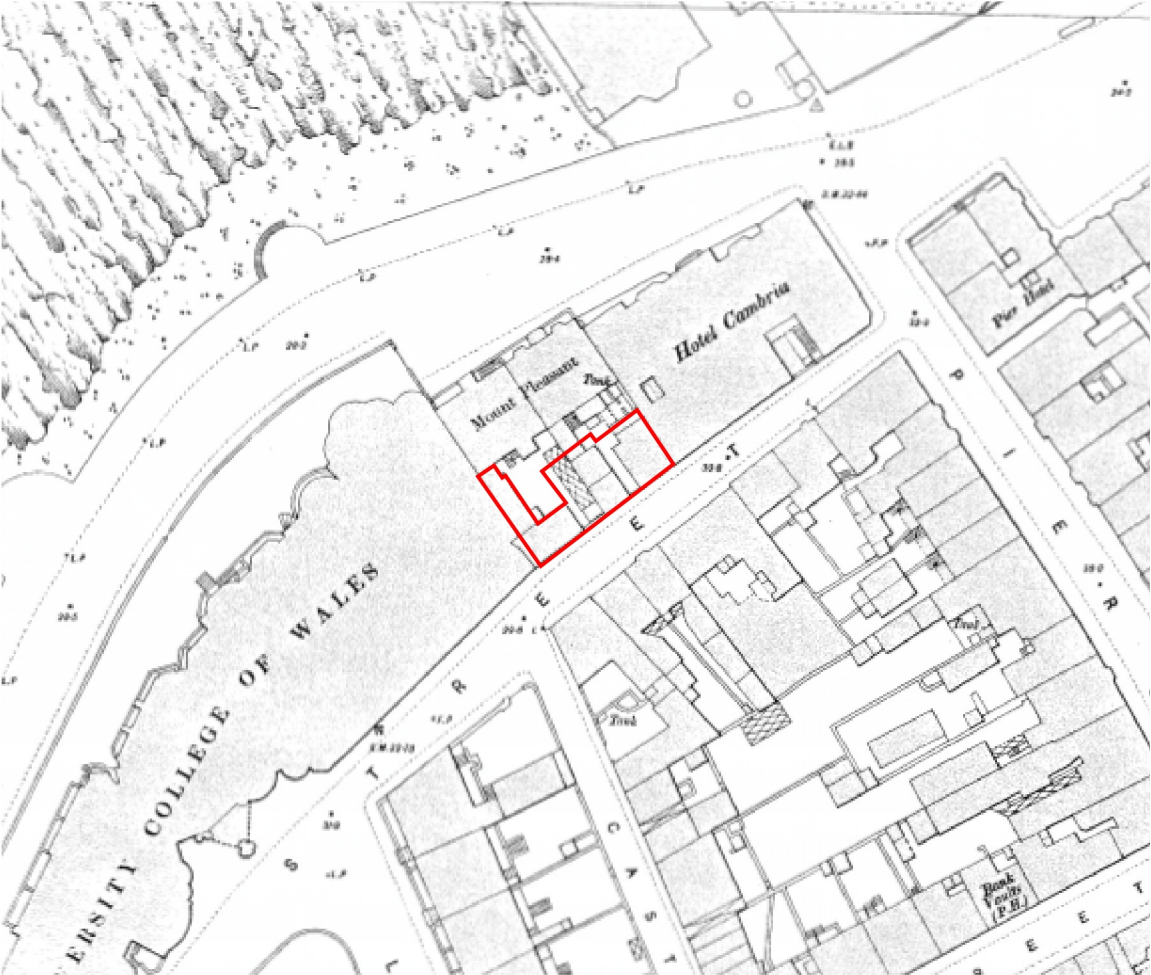


client			
Aberystwyth University			
project title			
King Street Buildings, Old College, Aberystwyth University			
drawing title			
Historic Map Regression (Part 1)			
date	16 NOVEMBER 2022	drawn by	DJo
drawing number	edp7672_d010a	checked	SDo
scale	1:1,000 @ A3	QA	GYo



Registered office: 01285 740427 - [www.edp-uk.co.uk](http://www.edp-uk.co.uk) - [info@edp-uk.co.uk](mailto:info@edp-uk.co.uk)





1905 Ordnance Survey Map (1:500)




1932-1938 Ordnance Survey Map (1:2,500)



1964-1972 Ordnance Survey Map (1:2,500)



Bing Satellite (2022)

 Approximate Site Boundary



client			
Aberystwyth University			
project title			
King Street Buildings, Old College, Aberystwyth University			
drawing title			
Historic Map Regression (Part 2)			
date	16 NOVEMBER 2022	drawn by	DJo
drawing number	edp7672_d011a	checked	SDo
scale	1:1,000 @ A3	QA	GYo



Registered office: 01285 740427 - [www.edp-uk.co.uk](http://www.edp-uk.co.uk) - [info@edp-uk.co.uk](mailto:info@edp-uk.co.uk)





#### Historic Phases

- 1824 - 1835
- 1960 - Present

client

**Aberystwyth University**

project title

**King Street Buildings, Old College,  
Aberystwyth University**

drawing title

**Historic Phases and Location of King Street  
Buildings (First Floor) (Sheet 1 of 2)**

date	16 NOVEMBER 2022	drawn by	SWa
drawing number	edp7672_d012c	checked	SDo
scale	Not to scale @ A3	QA	GYo

**edp** the environmental  
dimension partnership

Registered office: 01285 740427 - [www.edp-uk.co.uk](http://www.edp-uk.co.uk) - [info@edp-uk.co.uk](mailto:info@edp-uk.co.uk)





#### Historic Phases

	1811 - 1824
	1824 - 1835
	1840 - 1900
	1900 - 1960
	1960 - Present

client

**Aberystwyth University**

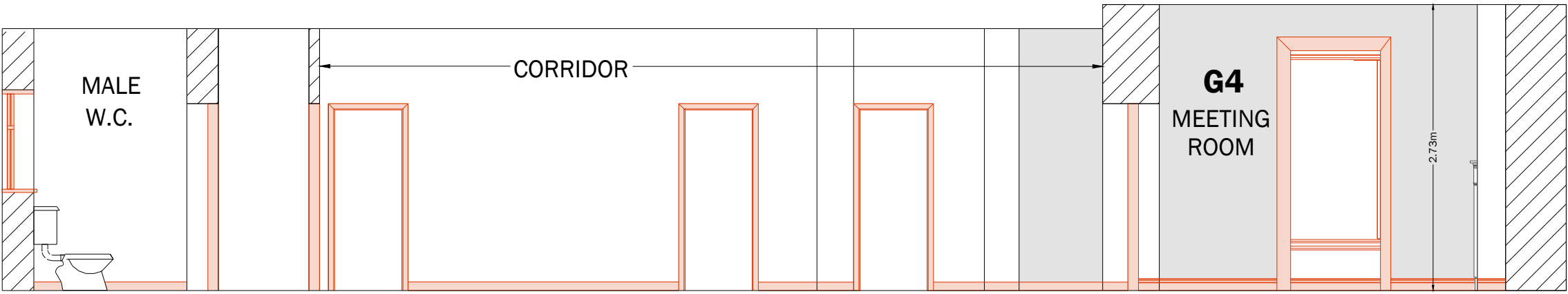
project title

**King Street Buildings, Old College,  
Aberystwyth University**

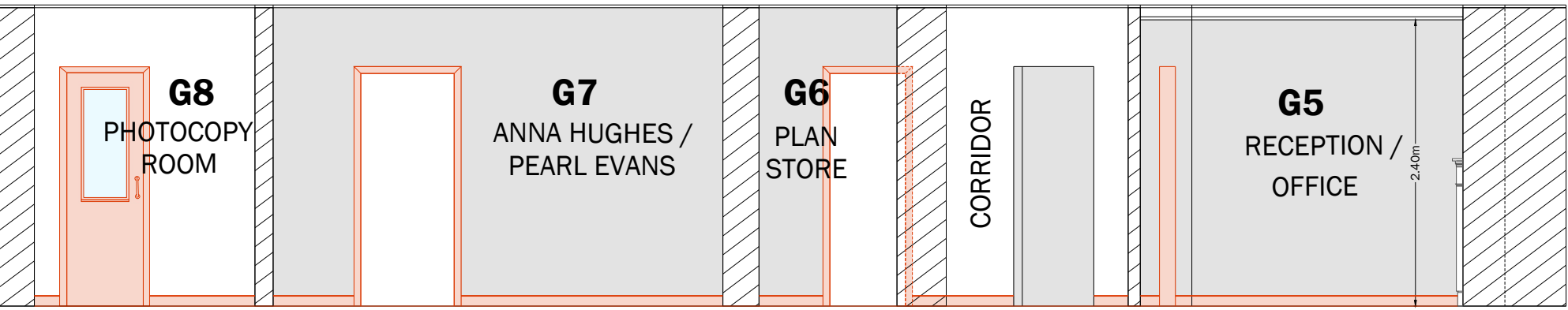
drawing title

**Historic Phases and Location of King Street  
Buildings (Ground Floor) (Sheet 2 of 2)**

date	16 NOVEMBER 2022	drawn by	SWa
drawing number	edp7672_d012c	checked	SDo
scale	Not to scale @ A3	QA	GYo



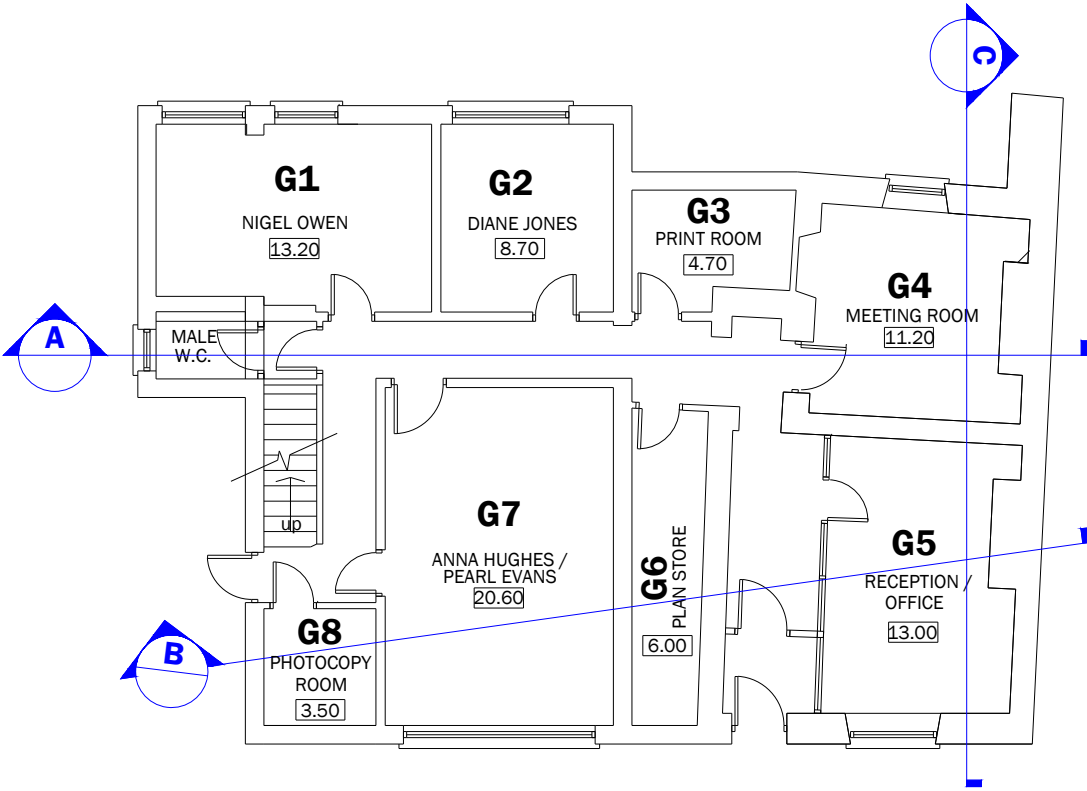
SECTION A



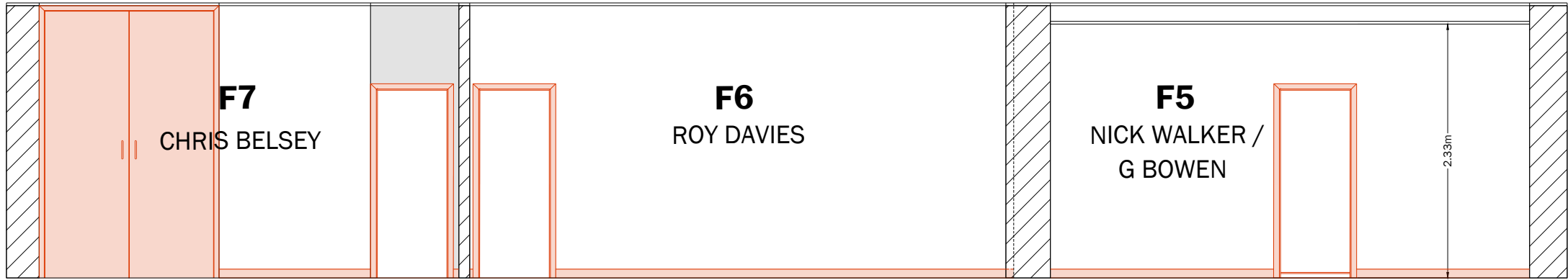
SECTION B



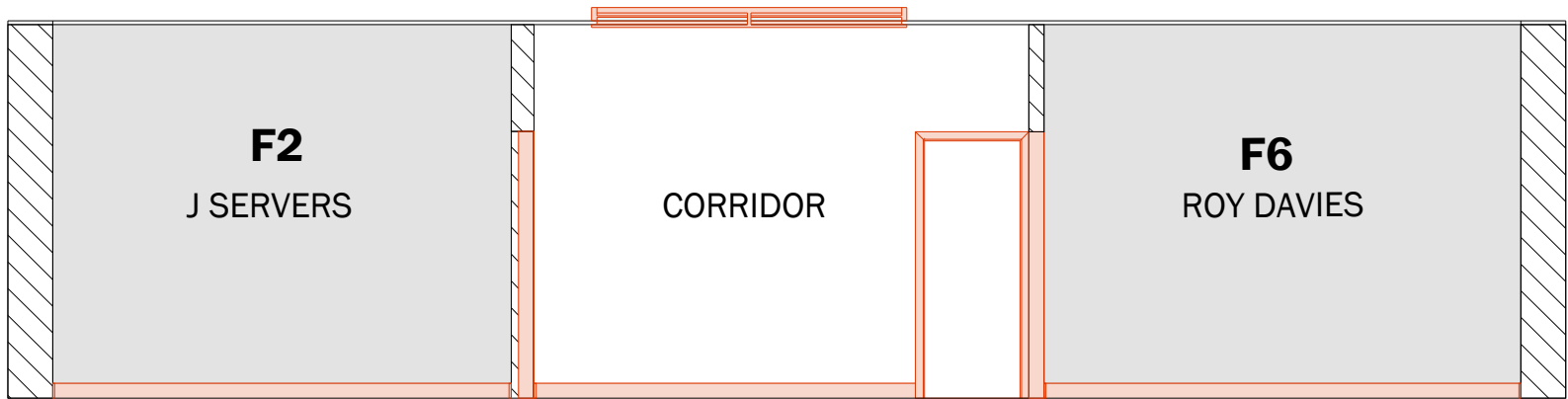
SECTION C



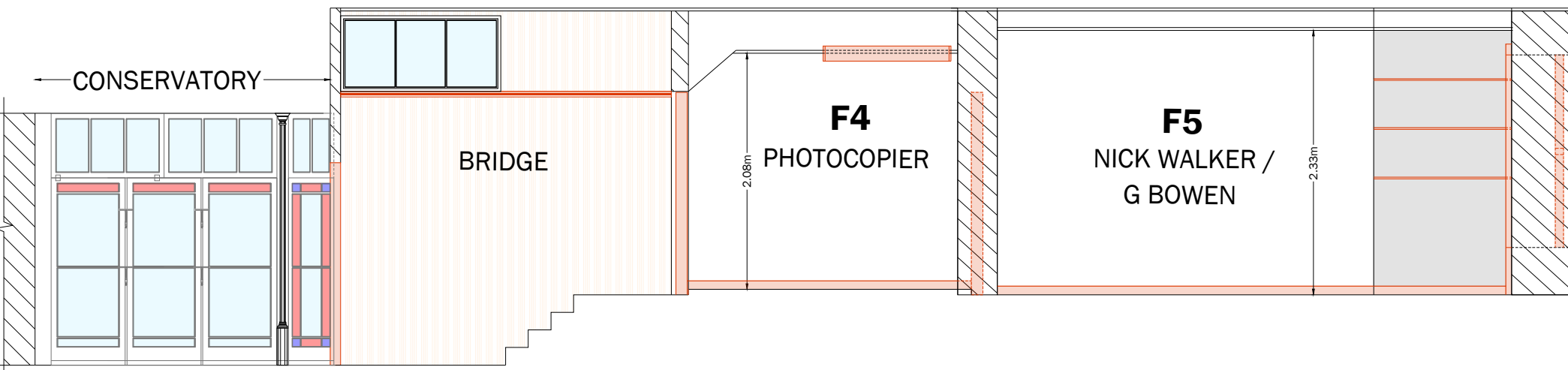
Ground Floor Plan Sections A - C



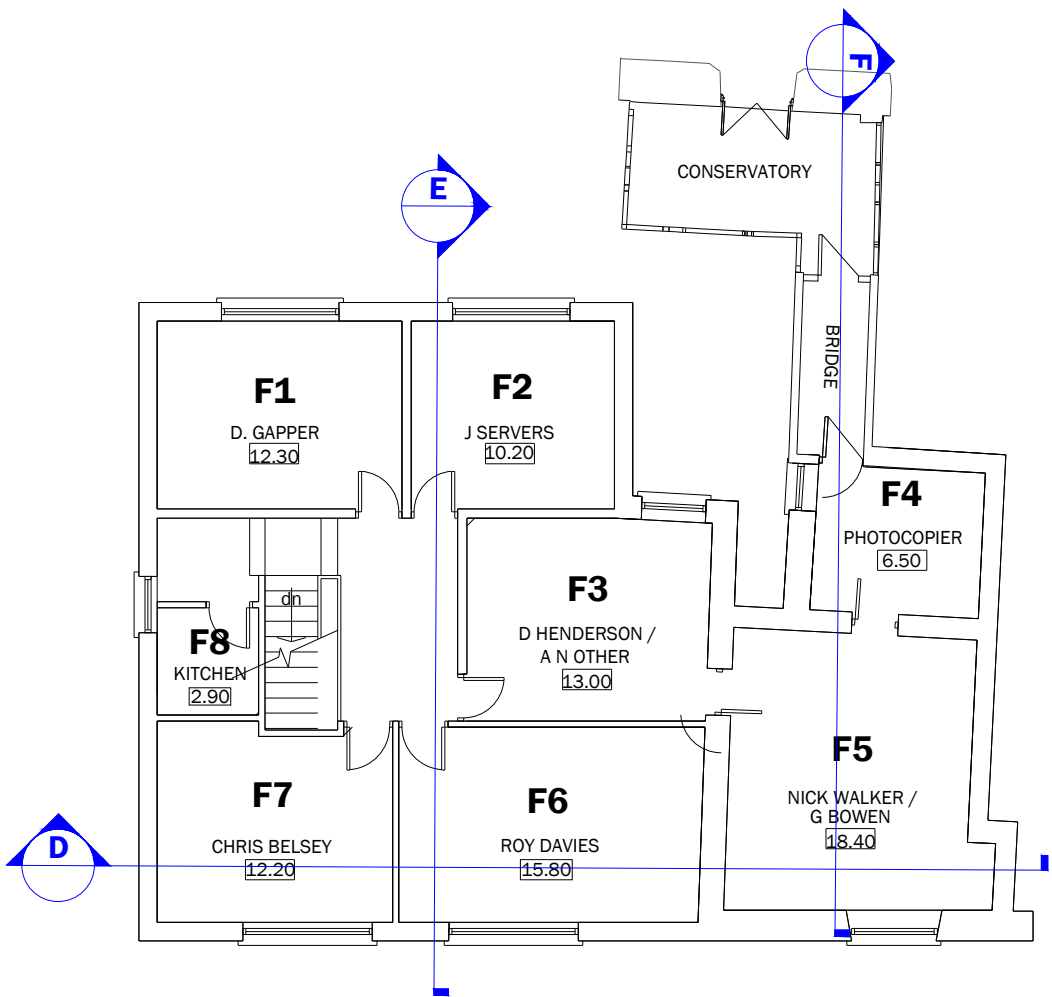
SECTION D



SECTION E



SECTION F



First Floor Plan Sections D - F





the environmental  
dimension partnership

**CARDIFF**  
**02921 671900**

**CHELTENHAM**  
**01242 903110**

**CIRENCESTER**  
**01285 740427**

**info@edp-uk.co.uk**  
**www.edp-uk.co.uk**

The Environmental Dimension Partnership Ltd. Registered as a Limited Company in England and Wales. Company No. 09102431. Registered Office: Quarry Barn, Elkstone Studios, Elkstone, Gloucestershire GL53 9PQ



**URBAN  
DESIGN  
GROUP** REGISTERED  
PRACTICE



**Landscape  
Institute**  
Registered practice